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To: Board of Directors; Greater Syracuse Property Development Corporation  
John Sidd

From: Katelyn Wright

Date: July 17, 2020

Re: Board of Directors Meeting – July 21, 2020

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The Greater Syracuse Property Development Corporation will hold a regular meeting of the Board of Directors on **Tuesday, July 21, 2020 at 8:00 A.M.** via conference call.

Please join my meeting from your computer, tablet or smartphone.

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- I. Call to order
- II. Roll Call
- III. Proof of Notice
- IV. Minutes  
**June 30, 2020**
- V. Executive Summary & Financial Statements
- VI. New Business
  - A. Authorize the Sale of multiple properties
  - B. Authorize the Sale of 2110 S Salina Street (South Presbyterian Church)
  - C. Authorize procurement of multiple demolitions
- VII. Discussion
  - A. City funding contract approved 7/13
- VIII. Adjournment



**PLEASE POST**

**PLEASE POST**

**PLEASE POST**

PUBLIC MEETING NOTICE

GREATER SYRACUSE PROPERTY DEVELOPMENT CORPORATION

HAS SCHEDULED A REGULAR MEETING OF THE BOARD OF DIRECTORS

FOR

8:00 AM Tuesday, July 21, 2020

This meeting will take place via conference call:

Please join my meeting from your computer, tablet or smartphone.

<https://global.gotomeeting.com/join/455508829>

New to GoToMeeting? Get the app now and be ready when your first meeting starts:

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For more information, please contact Katelyn Wright at 315-422-2301 or

[kwright@syracuselandbank.org](mailto:kwright@syracuselandbank.org)

**GREATER SYRACUSE PROPERTY DEVELOPMENT CORPORATION  
CERTIFICATE REGARDING NO CONFLICT OF INTEREST**

**MEETING DATE: July 21, 2020**

The Greater Syracuse Property Development Corporation (the “GSPDC”) has this day considered numerous business items (each a “Transaction”) including, but not limited to, the sale of real or personal property to, undertaking projects with or on behalf of, and entering contracts with, certain individuals and business entities (each a “Stakeholder”).

I, the undersigned director, officer or employee of GSPDC, **DO HEREBY CERTIFY**, as follows:

1. I do not have any interest with regard to any Transaction which would cause the Transaction to be deemed a “related party transaction” (as defined in Section 102[a][24] of the New York Not-For-Profit Corporation Law), and no Relative (as defined in Section 102[a][22] of the New York Not-For-Profit Corporation Law) of mine or entity in which I have an ownership or beneficial interest has any such interest.  
A “related party” as defined under Section 102(a)(23) of the New York Not-For-Profit Corporation Law means: (a) any director, officer or key employee of the GSPDC or any affiliate of the GSPDC; (b) any relative of any director, officer or key employee of the GSPDC or any affiliate of the GSPDC; or (c) any entity in which any individual described in clauses (a) and (b) above has a thirty-five percent or greater ownership or beneficial interest or, in the case of a partnership or professional corporation, a direct or indirect ownership interest in excess of five percent.  
A “related party transaction” as defined under Section 102(a)(24) of the New York Not-For-Profit Corporation Law means any transaction, agreement or any other arrangement in which a related party has a financial interest and in which the GSPDC]or any affiliate of the GSPDC is a participant.
2. I do not have any interest in, or relationship with, any Stakeholder which would violate the GSPDC’s Code of Ethics, Section 1614 of the New York Not-for-Profit Corporation Law, Sections 73 or 74 of the New York Public Officers Law, or Section 4.15 of the Intermunicipal Agreement between Onondaga County and the City of Syracuse dated March 27, 2012 or which would create a potential conflict of interest as defined pursuant to Article VIII of the Bylaws of the GSPDC.
3. The nature and extent of any interest I may have in any Stakeholder or Transaction is described in Exhibit A annexed hereto, such disclosure to be made a part of and set forth in the official minutes of the GSPDC.

**BOARD OF DIRECTORS:**

\_\_\_\_\_  
Vito Sciscioli, Chair

\_\_\_\_\_  
Michael LaFlair

\_\_\_\_\_  
El-Java Williams Abdul-Qadir

\_\_\_\_\_  
Patrick Hogan

\_\_\_\_\_  
Julie Cerio

**STAFF:**

\_\_\_\_\_  
Katelyn E. Wright

\_\_\_\_\_  
Luke Avery-Dougherty

\_\_\_\_\_  
Shannon Knickerbocker

\_\_\_\_\_  
David Rowe

\_\_\_\_\_  
Joel Kaigler

\_\_\_\_\_  
Terri Luckett

\_\_\_\_\_  
Shavel Edwards

\_\_\_\_\_  
Daniel Stazzone

\_\_\_\_\_  
Kevin Cook



Minutes  
Greater Syracuse Property Development Corporation  
Regular Meeting of the Board of Directors  
8:00 AM Tuesday, June 30, 2020  
Via Video Conference

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**Board Members Present:** Vito Sciscioli, Patrick Hogan, Julie Cerio,  
**Board Members Excused:** El Java Abdul Qadir, Mike LaFlair  
**Others Present:** Katelyn Wright, John Sidd, Luke Avery-Dougherty, Terri Luckett, Shavel Edwards

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**I. Call to Order**

Vito Sciscioli called the meeting to order at 8:00 AM.

**II. Roll Call**

Mr. Sciscioli noted that Mike LaFlair and El Java Abdul Qadir were absent, but all other board members were present.

**III. Proof of Notice**

Mr. Sciscioli confirmed that notice of the meeting had been properly posted.

**IV. Executive Summary and Financial Statements**

Ms. Wright noted that the financial statements through the end of April were included in the packet and that otherwise the executive summary simply summarized new business. Hearing no questions Mr. Sciscioli suggested they move on to new business.

**V. New Business**

**A. Enter into a funding contract with the City of Syracuse**

Ms. Wright explained that the funding contract was largely the same as last year's contract, except reduced to \$500,000. She explained that the use of funds was limited to \$250,000 for demolitions (must match 1:1, but we can do that with other grant funds) and \$250,000 for property maintenance expenses.

Pat Hogan moved to authorize the Land Bank to enter into a contract with the City of Syracuse for \$500,000. Julie Cerio seconded the motion. **ALL BOARD MEMBERS PRESENT UNANIMOUSLY PASSED A RESOLUTION AUTHORIZING THE LAND BANK TO ENTER INTO A CONTRACT WITH THE CITY OF SYRACUSE.**

**B. Authorize the Sale of multiple properties**

Ms. Wright summarized the offers received, spending some time explaining the offer on 316-22 W Matson Street. After some discussion, Pat Hogan moved to authorize the Land Bank to sell multiple properties. Julie Cerio seconded the motion. **ALL BOARD MEMBERS PRESENT UNANIMOUSLY PASSED A RESOLUTION AUTHORIZING THE LAND BANK TO SELL MULTIPLE PROPERTIES.**



### **C. Authorize the Sale of 112-14 Burt Street**

Ms. Wright explained the deteriorating condition of the building and the plan submitted by 15<sup>th</sup> Ward Developers, LLC, which lacks any committed financing. After some discussion, the board members agreed they should give them an opportunity to secure the financing and hopefully help the Land Bank avoid the cost of demolition. Ms. Wright noted that if the building is demolished this lot is too small to legally be built on again without an area variance. The board agreed that they should give the applicants 90 days to secure the necessary financing.

Pat Hogan moved to authorize the Land Bank to sell 112-14 Burt Street to 15<sup>th</sup> Ward Developers, LLC. Julie Cerio seconded the motion. **ALL BOARD MEMBERS PRESENT UNANIMOUSLY PASSED A RESOLUTION AUTHORIZING THE LAND BANK TO SELL 112-14 BURT STREET TO 15<sup>TH</sup> WARD DEVELOPERS, LLC.**

### **D. Sell a portion of 511 Seymour to Sunshine A Booker**

Ms. Wright explained that as the Land Bank is seeking to create building lots for the Resurgent Neighborhood Initiative they apply to the zoning office to merge lots. The zoning office didn't like that the lot resulting from merging 509 and 511 Seymour would be much larger than the neighboring parcels, so the Land Bank proposed selling a portion to the neighbor at 513, which would create three lots in a row all roughly the same size. She noted that the portion that being sold to Ms. Booker will provide a buffer between her house and the new rental property to be built next door and that Ms. Booker runs a day care out of her home so the added space will provide extra play area for the kids.

Pat Hogan moved to authorize the Land Bank to sell a portion of 511 Seymour to Sunshine Booker. Julie Cerio seconded the motion. **ALL BOARD MEMBERS PRESENT UNANIMOUSLY PASSED A RESOLUTION AUTHORIZING THE LAND BANK TO SELL A PORTION OF 511 SEYMOUR TO SUNSHINE BOOKER.**

### **E. Authorize Land Bank to acquire 209 and 213 Woodland Ave from the City of Syracuse**

Ms. Wright explained that these seizable vacant lots are located across the street from three planned infill construction projects that are part of the Resurgent Neighborhoods Initiative, which will be funded some of the Land Bank's with Round 4.2 CRI grant funds. She explained that the Land Bank wishes to acquire these lots and merge them to make way for another future infill construction project.

Pat Hogan moved to authorize the Land Bank to acquire 209 and 213 Woodland Ave from the City. Julie Cerio seconded the motion. **ALL BOARD MEMBERS PRESENT UNANIMOUSLY PASSED A RESOLUTION AUTHORIZING THE LAND BANK TO ACQUIRE 209 AND 213 WOODLAND AVE FROM THE CITY.**

### **F. Authorize Land Bank to purchase 521 W Colvin**

Ms. Wright explained that this property is adjacent to a cluster of six parcels owned by the Land Bank and the City. We are in the process of acquiring those two City-owned parcels. By adding this private purchase, we're able to assemble a 1.1 acre parcel. Without this large parcel we have .7 acres. This is just 200' from a multi-unit senior housing development currently being constructed in the old St. Anthony's school. She explained that she is in communication with a developer who wishes to build a multi-story mixed-use building on this corner and aims to attract a national pharmacy chain for the ground floor. Having over an acre will give them enough space for the necessary off-street parking to attract that kind of national chain. She noted that the Land Bank has \$52,000 in County funds left for the purchase of vacant properties, which can be used to acquire this parcel.

Mr. Sciscioli noted that it was a bit speculative, but that he had no objection. Julie Cerio moved to authorize the Land Bank to purchase 521 W. Colvin Street for \$50,000. Pat Hogan seconded the motion. **ALL BOARD MEMBERS PRESENT UNANIMOUSLY PASSED A RESOLUTION AUTHORIZING THE LAND BANK TO PURCHASE 521 W. COLVIN STREET FOR \$50,000.**

**G. Authorize Land Bank to sell the following properties to HHQ for the construction of new single-family homes using CRI Round 4.2 funding**

Ms. Wright reminded the board that the Land Bank was awarded \$600,000 in CRI Round 4.2 (the last of the AG's mortgage settlement funds for land banks) to be spent by 6/30/21. \$375,000 of that is for the construction of new single-family homes. She noted that this is considered a modification of their Round 4 contract and that they will continue to partner with Home HeadQuarters as co-developers for this as we did with the last four rounds of CRI. These five CRI projects will count as the first five infill projects under Resurgent Neighborhoods Initiative. She reviewed a map showing how this project relates to previous investments and additional two-family rental infill projects planned in conjunction with Housing Visions.

Pat Hogan moved to authorize the Land Bank to sell 202 Woodland, 212-14 Woodland and 234-36 Garfield to Home HeadQuarters for CRI Round 4.2 funded new construction. Julie Cerio seconded this motion. **ALL BOARD MEMBERS PRESENT UNANIMOUSLY PASSED A RESOLUTION AUTHORIZING THE LAND BANK TO SELL 202 WOODLAND, 212-14 WOODLAND AND 234-36 GARFIELD TO HOME HEADQUARTERS FOR CRI ROUND 4.2-FUNDED NEW CONSTRUCTION.**

**H. Acquire and sell 200 Shuart for Round 4.2 single-family new construction**

Ms. Wright explained that in order to spend CRI funds on this site it needs to briefly pass through the Land Bank's inventory. HHQ acquired this property and the two next door in 2003 in conjunction with the Syracuse Neighborhood Initiative (SNI). They are merging these three into two building sites now. The other will likely be part of a later phase of RNI. She explained that she was seeking the board's authorization to acquire the lot and then deed it back to HHQ in order to make it eligible for CRI funding.

Pat Hogan moved to authorize the Land Bank to acquire and then sell 200 Shuart. Julie Cerio seconded this motion. **ALL BOARD MEMBERS PRESENT UNANIMOUSLY PASSED A RESOLUTION AUTHORIZING THE LAND BANK TO ACQUIRE AND THEN SELL 200 SHUART.**

**I. Amend the Personnel Policy to make Juneteenth (June 19) an annual Land Bank paid holiday**

Ms. Wright noted that the City, County, and State had all recently moved to make this a paid holiday.

Pat Hogan moved to amend the Personnel Policy making Juneteenth a paid holiday. Julie Cerio seconded this. **ALL BOARD MEMBERS PRESENT UNANIMOUSLY PASSED A RESOLUTION TO AMEND THE PERSONNEL POLICY MAKING JUNETEENTH A PAID HOLIDAY.**

**J. Procure GL insurance**

Ms. Wright explained that Lloyds of London is dropping all Land Banks, but Brown & Brown was able to find the same coverage limits through Clear Blue Sky Specialty Insurance Company (a member of CMACI Holdings, LLC) at a rate of \$45/\$1000 of sub costs instead of \$60/\$1,000 as we've been paying for the past year. In addition, we expect to do less construction and demolition during the upcoming policy year (July 1 – June 30). Due to lower premiums and the lower basis (total amount of sub costs), we anticipate GL insurance costs to decrease from \$117,788 in the current year to \$64,499 in the coming year. See attached proposal from Brown & Brown Insurance.

Vito Sciscioli suggested she write a letter to the NYS Commissioner of Financial Services about the fact that many NY based insurance companies will not provide GL coverage in NY because of onerous regulations.

Pat Hogan moved to authorize the Land Bank to procure GL coverage from Clear Blue Sky Specialty Insurance Company. Julie Cerio seconded the motion. **ALL BOARD MEMBERS PRESENT UNANIMOUSLY PASSED A RESOLUTION AUTHORIZING THE LAND BANK TO PROCURE GL COVERAGE FROM CLEAR BLUE SKY SPECIALTY INSURANCE COMPANY.**

## **VI. Old Business**

### **A. MOU with Jubilee Homes**

Ms. Wright explained that Jubilee is still seeking site control of 75 properties in order to build two-family homes. Mr. Sciscioli expressed that he would prefer they start with a smaller number, provide a projected development budget and explain what source of subsidy they plan to use and that it was important that this plan be integrated into the City's larger plan for infill construction.

Pat Hogan made a motion expressing support for Jubilee and the Land Bank to work together on clustered infill development on the condition that it be coordinated with RNI and the City's infill plans. Julie Cerio seconded the motion. **LL BOARD MEMBERS PRESENT UNANIMOUSLY PASSED A RESOLUTION EXPRESSING SUPPORT FOR JUBILEE AND THE LAND BANK TO WORK TOGETHER ON CLUSTERED INFILL DEVELOPMENT ON THE CONDITION THAT IT BE COORDINATED WITH RNI AND THE CITY'S INFILL PLANS.**

## **VII. Discussion**

### **A. Re-opening for regular business**

Ms. Wright provided some updates on what employees have returned to the office and the safety plan that they are implementing. All board members agreed as long as they are complying with directives from NYS they can proceed as needed.

### **B. South Pres RFP due July 8**

Ms. Wright noted that responses to the RFP are due July 8 and that she's asked a range of stakeholders to review the proposals submitted and that she hopes the board can vote in July to award an option to purchase to the strongest applicant.

### **C. 2020 Demolition Funding sources**

Ms. Wright recapped what funding sources have been committed so far this year and what may still be available stressing that demolition funding is far more scarce in 2020 than it was in 2019.

### **D. Programing/fundraising needed around increasing sales to owner-occupants/making the process easier for owner-occupant buyers**

Ms. Wright noted that making Juneteenth a holiday is a nice gesture, but that there is more the Land Bank can do to respond to systemic racial disparities in household wealth. She shared with the board statistics showing that homeownership rates are much lower among Blacks and Latinos in Syracuse and that lower homeownership rates are a large driver of those unequal rates of household wealth. She also explained that there's a geographic disparity with home ownership rates being much lower in most neighborhoods where Land Bank properties are located, which geographically were historically redlined neighborhoods. She did note that some might argue that for the Land Bank to develop programming to mitigate these inequities is mission creep. The board agreed that they ought to explore ways the Land Bank can address these problems.

Mr. Sciscioli suggested that they ought to convene a panel with representatives from government, philanthropy, and housing agencies to discuss how the Land Bank might develop programming to mitigate these historic inequities. Mr. Sidd noted that their bylaws allow for the creation of a “committee of the corporation” to which they can appoint non-board members and that such a committee might be created to analyze the issue and make policy suggestions to the board. Ms. Wright asked board members to recommend possible appointees and said that she would compile a list. Mr. Sciscioli suggested she reach out to the City and County and make sure this doesn’t replicate anything they’re already doing. She noted that a short-term thing they should do is start gathering demographic data from their buyers because they currently do not and can’t say what percentage of owner-occupant buyer are minorities. The board agreed that they should start collecting this data.

#### **VIII. Adjourn**

Julie Cerio moved to adjourn. Pat Hogan seconded the motion. **ALL BOARD MEMBERS IN ATTENDANCE VOTED TO ADJOURN THE MEETING AT 9:06 AM.**



**Executive Summary**  
**July 21, 2020 Board of Directors Agenda**

**I. Financial Statements**

Financial statements through the end of May were emailed directly to the board and can be found on p. 11 of this packet.

**II. New Business**

**A. Authorize the Sale of multiple properties**

See p. 20 of this packet for information on the offers received this month.

**B. Authorize the Sale of 2110 S Salina Street (South Presbyterian Church)**

The Land Bank received two proposals in response to an RFP for this property issued in June 8. The deadline was July 8. We are seeking for the board to award the best proposer an option to purchase, giving them the site control necessary to move forward with investment in construction drawings, permit applications, and financing applications. Closing should be contingent upon the developer securing the necessary financing and permits to proceed with the project.

The RFP listed items that must be included in a complete proposal. I have summarized what we received from both applicants below:

<b>Proposal Requirements listed in the RFP</b>	<b>Simply Ingram, LLC</b>	<b>100 Black Men of Syracuse, Inc.</b>
<b>Description of Experience/team</b>	Yes	haven't engaged anyone w/ real estate development professionals yet
<b>Itemized Redevelopment Budget</b>	Yes	Yes
<b>Sources of Funds</b>	Yes	only lists tax credits and NBD
<b>Management Plan / Operating Pro Forma</b>	Yes	none
<b>Deposit</b>	\$ 1,000.00	\$ -
<b>Planned Use</b>	Event Venue and Bar/Lounge	Their own nonprofit headquarters, community center, theater/auditorium, museum space for local Black history

We invited Southside stakeholders, neighbors, elected officials, real estate developers, and financial professionals to review and discuss these two proposals and make a recommendation to the board. The group all supported the proposal from Simply Ingram, LLC, but did express some concerns about the bar/lounge component of the project and worry that it might cause noise and traffic problems for the surrounding neighbors and that it might attract criminal activity.

In order to proceed with this plan the applicants will have to obtain a use variance because the building happens to be zoned Residential, Class AA. This will entail a public hearing with the Board of Zoning Appeals and neighbors within 500 feet are notified of the public hearing with a post card. I recommended to the applicants that they meet with neighbors in advance of this, discuss their concerns and come up with a plan for lighting, security, and hours of operation that addresses their concerns so that hopefully their public hearing with the BZA will go smoothly.

**C. Authorize procurement of multiple demolitions**

Bids are due Monday, July 20. More info to come.

**III. Discussion**

**A. City funding contract approved 7/13**

**Greater Syracuse Property Development Corporation**  
**Balance Sheet**  
As of May 31, 2020

	May 31, 20	May 31, 19
<b>ASSETS</b>		
<b>Current Assets</b>		
Checking/Savings		
10000 · Checking	3,197,752.69	4,109,607.94
<b>Total Checking/Savings</b>	3,197,752.69	4,109,607.94
Accounts Receivable		
11001 · Accounts Receivable	10,537.50	-363.00
<b>Total Accounts Receivable</b>	10,537.50	-363.00
<b>Other Current Assets</b>		
12001 · Undeposited Funds	3,159.00	36,099.23
12100 · Contract Receivable		
12115 · '20 CDBG Receivable	8,100.00	0.00
12114 · 2020 CRI Receivable-Rehab	375,000.00	0.00
12113 · 2020 CRI Receivable-Demo	285,000.00	0.00
12112 · '19 - '20 CDBG Receivable	23,962.20	0.00
12111 · EPA_Brownfield_Petroleum	145,058.43	0.00
12110 · EPA_Brownfield_Hazardous	444,662.39	0.00
12106 · '19-'20 CRI Receivable	0.00	1,500,000.00
12107 · '19 CDBG Receivable	0.00	136,129.73
12109 · HOME	55,258.00	0.00
<b>Total 12100 · Contract Receivable</b>	1,337,041.02	1,636,129.73
12200 · Reimbursement Receivable	21,700.00	44.73
12300 · Forbearance Receivable	0.00	500.00
12500 · Prepaid Insurance	17,328.53	52,720.20
12900 · Prepaid Expense	6,601.38	5,542.42
<b>Total Other Current Assets</b>	1,385,829.93	1,731,036.31
<b>Total Current Assets</b>	4,594,120.12	5,840,281.25
<b>Fixed Assets</b>		
14000 · Computer	13,399.86	13,399.86
15000 · Furniture and Equipment	6,381.08	6,381.08
16000 · Software and Website	13,050.00	13,050.00
17000 · Accumulated Depreciation	-29,034.72	-26,276.21
<b>Total Fixed Assets</b>	3,796.22	6,554.73
<b>Other Assets</b>		
18000 · Cost of Properties Held	812,780.74	1,053,213.38
<b>Total Other Assets</b>	812,780.74	1,053,213.38
<b>TOTAL ASSETS</b>	<b>5,410,697.08</b>	<b>6,900,049.36</b>
<b>LIABILITIES &amp; EQUITY</b>		
<b>Liabilities</b>		
<b>Current Liabilities</b>		
Accounts Payable		
20000 · Accounts Payable	157,530.40	213,626.17
<b>Total Accounts Payable</b>	157,530.40	213,626.17
<b>Credit Cards</b>		
20002 · M&T Visa 7079	1,987.58	0.00
20001 · M&T Visa Community Card	0.00	2,102.00
<b>Total Credit Cards</b>	1,987.58	2,102.00
<b>Other Current Liabilities</b>		
20900 · 401(K) Liability		
21000 · 401(k) Payable	713.01	1,196.35
<b>Total 20900 · 401(K) Liability</b>	713.01	1,196.35

**Greater Syracuse Property Development Corporation**  
**Balance Sheet**  
As of May 31, 2020

	May 31, 20	May 31, 19
20100 · M&T Loan PPP 2020	101,710.00	0.00
20500 · Down Payment on Property Sale	16,157.00	52,081.45
22000 · Accrued Expenses	5,213.40	53,077.48
<b>Total Other Current Liabilities</b>	<b>123,793.41</b>	<b>106,355.28</b>
<b>Total Current Liabilities</b>	<b>283,311.39</b>	<b>322,083.45</b>
<b>Long Term Liabilities</b>		
27200 · Other Liabilities	0.00	-1,500.00
28000 · Deferred Grant Inflow		
28024 · CRI 2020 Rehab	375,000.00	0.00
28023 · CRI 2020 Demo	216,921.12	0.00
29503 · Community Fou. Lead Grant #2	135,675.69	0.00
29020 · EPA_Brownfield_Petroleum '19-22	136,641.78	0.00
29010 · EPA_Brownfield_Hazardous '19-22	435,822.86	0.00
28003 · County Loan Guarantee '14	0.00	150,000.00
28004 · County Deconstruction '14	11,030.17	16,310.17
28006 · County Bank Purchase	139,663.91	139,663.91
28012 · County 2017	2,940.34	10,666.07
28013 · Neighbors for Neighbors '17-'18	30,658.07	194,898.71
28014 · AG Rehab '17	0.00	295,000.00
28015 · City of Syracuse '18-'19	0.00	257,723.09
28017 · CRI 2019 Demo	6,023.20	1,229,946.00
28018 · CRI 2019 Rehab	200,000.00	600,000.00
28019 · County- Building Stabilization	76,263.00	0.00
28020 · County-Purchase of Vacant Prop.	52,032.87	0.00
28021 · City of Syracuse '19-'20	125,818.36	0.00
28022 · HOME	55,258.00	0.00
29000 · Americorps Grant	3,520.35	3,520.35
<b>Total 28000 · Deferred Grant Inflow</b>	<b>2,003,269.72</b>	<b>2,897,728.30</b>
29500 · Parks Conservancy Grant	1,000.00	1,000.00
29502 · Community Foundation Lead Grant	15.27	43,750.00
<b>Total Long Term Liabilities</b>	<b>2,004,284.99</b>	<b>2,940,978.30</b>
<b>Total Liabilities</b>	<b>2,287,596.38</b>	<b>3,263,061.75</b>
<b>Equity</b>		
32000 · Unrestricted Net Assets	3,835,441.21	3,945,708.50
Net Income	-712,340.51	-308,720.89
<b>Total Equity</b>	<b>3,123,100.70</b>	<b>3,636,987.61</b>
<b>TOTAL LIABILITIES &amp; EQUITY</b>	<b>5,410,697.08</b>	<b>6,900,049.36</b>



**Greater Syracuse Property Development Corporation**  
**Profit & Loss Current Month & Year to Date**  
**May 2020**

	May 20	Jan - May 20
<b>Ordinary Income/Expense</b>		
<b>Income</b>		
40190 · CNY Community Lead Grant #2	13,356.00	13,356.00
40000 · Government Grants		
41003 · County- Purchase of Vacant Prop	0.00	72,967.13
41002 · County- Building Stabilization		
41002.1 · County-BS Admin/Developer Fees	0.00	1,495.00
41002 · County- Building Stabilization - Other	0.00	30,422.00
<b>Total 41002 · County- Building Stabilization</b>	<b>0.00</b>	<b>31,917.00</b>
40160 · EPA_Brownfield_Petroleum		
40160.1 · EPA BP - Admin/Developer Fees	70.09	338.41
40160 · EPA_Brownfield_Petroleum - Other	2,336.25	11,280.25
<b>Total 40160 · EPA_Brownfield_Petroleum</b>	<b>2,406.34</b>	<b>11,618.66</b>
40150 · EPA_Brownfield_Hazardous		
40150.1 · EPA BH - Admin/Developer Fees	55.69	362.26
40150 · EPA_Brownfield_Hazardous - Other	1,856.25	12,075.32
<b>Total 40150 · EPA_Brownfield_Hazardous</b>	<b>1,911.94</b>	<b>12,437.58</b>
40010 · City of Syracuse	24,767.09	291,205.69
40030 · Admin/Developer's Fee	9,607.08	12,419.94
40040 · Onondaga County	15,370.00	15,370.00
40060 · NY Attorney General		
40060.4 · CRI 2020 Demo	2,600.00	13,300.00
40060.3 · CRI 2019 Rehab	0.00	18,989.14
40060.2 · CRI 2019 Demo	0.00	43,224.50
40060.1 · CRI Admin/Developer Fees	0.00	5,703.31
40060 · NY Attorney General - Other	69,604.71	69,604.71
<b>Total 40060 · NY Attorney General</b>	<b>72,204.71</b>	<b>150,821.66</b>
40100 · CDBG Grant Income	8,100.00	67,302.09
41001 · City of Syracuse '19-'20	18,050.00	18,050.00
<b>Total 40000 · Government Grants</b>	<b>152,417.16</b>	<b>684,109.75</b>
40090 · Neighbors for Neighbors Income	2,330.01	49,110.02
42000 · REO Donated Funds	0.00	19,485.41
48000 · Side Lot Application Income	0.00	225.00
49000 · Rental Income	12,550.00	17,600.00
49500 · Sale of Property	44,626.92	299,360.10
<b>Total Income</b>	<b>225,280.09</b>	<b>1,083,246.28</b>
<b>Cost of Goods Sold</b>		
50000 · Cost of Sales		
500VI · Vacant COS Inventorial		
50010 · Property Purchase Cost	0.00	78,877.13
50020 · Recording Fees	0.00	339.00
50050 · Debris Removal - Initial	1,656.00	124,304.00
50090 · Renovation Inventory	15,526.62	139,187.08
50100 · Stabilization	28,425.00	69,735.00
50145 · Title Searches	0.00	329.00
50170 · Architectural Prof. Services	3,100.00	10,025.00
50180 · Land Survey Prof. Services	1,650.00	17,775.00
50999 · Spec Reclass to/from Inventory	5,823.00	66,161.10
<b>Total 500VI · Vacant COS Inventorial</b>	<b>56,180.62</b>	<b>506,732.31</b>

**Greater Syracuse Property Development Corporation**  
**Profit & Loss Current Month & Year to Date**  
**May 2020**

	May 20	Jan - May 20
<b>500PC · Periodic COS</b>		
50025 · Property Materials and Supplies	1,452.56	4,103.09
50029 · General Inspections	3,198.00	12,346.00
50051 · Debris Removal - Periodic	27,792.40	155,061.29
50070 · Lawn Maintenance	27,812.50	36,292.00
50080 · Snow Removal	0.00	26,706.50
50110 · Demolition/Deconstruction	120,405.00	426,081.60
50111 · Renovation Expensed	0.00	18,989.14
50117 · Survey/Abatement Pre-Demo	5,678.00	23,518.00
50120 · Permits/Fees	0.00	225.00
50130 · Utilities	10,745.95	38,878.80
50190 · Evictions	0.00	1,840.00
50205 · Legal & Closing Costs	0.00	9,125.00
50220 · Brokerage - Sale	500.00	7,054.00
50230 · Sale of Property Closing Costs	0.00	1,500.00
53100 · Stabilization	0.00	100.00
53200 · Property Appraisal	0.00	225.00
<b>Total 500PC · Periodic COS</b>	<b>197,584.41</b>	<b>762,045.42</b>
<b>Total 50000 · Cost of Sales</b>	<b>253,765.03</b>	<b>1,268,777.73</b>
<b>Total COGS</b>	<b>253,765.03</b>	<b>1,268,777.73</b>
<b>Gross Profit</b>	<b>-28,484.94</b>	<b>-185,531.45</b>
<b>Expense</b>		
60000 · Accounting Fees	5,065.00	40,280.00
60100 · Automobile	437.74	2,621.26
60200 · Depreciation	214.98	1,110.81
60300 · Legal Fees	505.00	10,830.20
60400 · Office Expense	2,517.66	15,278.78
60500 · Payroll		
60535 · Employer 401(K) Match expense		
60545 · Forfeited amount of ER Match	0.00	-1,180.86
60540 · Employer 401(k) Match	1,672.08	8,499.78
<b>Total 60535 · Employer 401(K) Match expense</b>	<b>1,672.08</b>	<b>7,318.92</b>
60510 · Salary	40,524.70	206,450.52
60520 · Payroll Taxes	3,018.41	16,827.28
60530 · Employee Health Insurance	3,419.82	17,366.47
60550 · Payroll Processing Fees	985.20	4,880.78
<b>Total 60500 · Payroll</b>	<b>49,620.21</b>	<b>252,843.97</b>
60600 · Professional Services	4,192.50	32,955.57
60602 · Relocation Assistance Expense	1,609.64	14,944.82
60603 · Special Assessments Expense	0.00	20,419.19
60700 · Insurance		
60702 · Liability	16,190.60	80,007.91
60700 · Insurance - Other	11,678.23	59,675.15
<b>Total 60700 · Insurance</b>	<b>27,868.83</b>	<b>139,683.06</b>
60800 · Telephone	389.79	1,934.04
60905 · Conference/Meeting	0.00	70.00
61000 · Bank Service Charge	0.00	-15.00
61200 · License and Fees	0.00	2,345.00
61300 · Events & Marketing	-1,015.00	5,499.95
61400 · Rent Expense	2,659.64	13,124.12
<b>Total Expense</b>	<b>94,065.99</b>	<b>553,925.77</b>
<b>Net Ordinary Income</b>	<b>-122,550.93</b>	<b>-739,457.22</b>
<b>Other Income/Expense</b>		
<b>Other Income</b>		
70200 · Salvage Income	168.50	1,592.12
70300 · Rental Late Fee Income	0.00	70.00
70500 · Defaulting on Residency Req.	0.00	3,250.00
70600 · Project Extension Fees	1,250.00	21,250.00

No Assurance Provided, All Disclosures Omitted, Other Basis

**Greater Syracuse Property Development Corporation**  
**Profit & Loss Current Month & Year to Date**  
**May 2020**

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	May 20	Jan - May 20
71000 · Reimbursement Income		
71001 · Insurance Reimbursement	0.00	29.59
Total 71000 · Reimbursement Income	0.00	29.59
79000 · Misc. Income	0.00	925.00
Total Other Income	1,418.50	27,116.71
Net Other Income	1,418.50	27,116.71
Net Income	<b>-121,132.43</b>	<b>-712,340.51</b>

A meeting of the Board of Directors of the Greater Syracuse Property Development Corporation ("GSPDC") was convened via video conference on July 21, 2020 at 8:00 a.m.

The meeting was called to order by the Chairman and, upon roll being called, the following directors of the GSPDC were:

**PRESENT:**

Vito Sciscioli, Chair  
Julie Cerio, Secretary  
Patrick Hogan, Vice Chair  
Michael LaFlair, Treasurer  
El-Java Abdul-Qadir

**EXCUSED:**

**FOLLOWING PERSONS WERE ALSO PRESENT:**

Katelyn Wright	Executive Director
John Sidd	General Counsel

The following resolution was offered by \_\_\_\_\_, seconded by \_\_\_\_\_, to wit:

Resolution No.: 21 of 2020

**RESOLUTION AUTHORIZING THE SALE OF  
MULTIPLE PARCELS OF REAL PROPERTY**

WHEREAS, New York Not-for-Profit Corporation Law Section 1609(d) authorizes the GSPDC to convey, exchange, sell, or transfer any of its interests in, upon or to real property; and

WHEREAS, New York Not-for-Profit Corporation Law Section 1605(i)(5) requires that a sale of real property be approved a majority vote of the Board of Directors; and

WHEREAS, New York Not-for-Profit Corporation Law Section 1609(f) permits the board of directors to delegate to officers and employees the authority to enter into and execute agreements, instruments of conveyance and all other related documents pertaining to the conveyance of real property by the land bank; and

WHEREAS, Section 4(e)(i) of the GSPDC's Disposition of Real and Personal Property Policy (the "Property Disposition Policy") permits the GSPDC to dispose of real property by negotiation after listing the real property for sale with a licensed real estate broker and/or on the GSPDC's website; and

WHEREAS, Section 4(e)(i)(3) of the Property Disposition Policy permits the GSPDC to sell real property to an applicant who has not submitted the highest purchase offer for a variety of reasons consistent with the GSPDC's mission and purpose to facilitate the return of vacant, abandoned, and tax-delinquent properties to productive use; and

WHEREAS, all disposals of GSPDC property must be made to qualified buyers pursuant to Section 5 of the Property Disposition Policy; and

WHEREAS, the GSPDC owns certain parcels of real property situate in the County of Onondaga, State of New York and more particularly identified on the Properties List attached hereto as Schedule A (individually, a "Property" or collectively, the "Properties"); and

WHEREAS, the Executive Director, after evaluating all purchase offers received for the Properties in accordance with the Property Disposition Policy, has recommended that the GSPDC sell each Property to the corresponding Buyer identified on the Properties List (individually, a "Buyer" or collectively, the "Buyers") in accordance with the terms and conditions set forth therein; and

WHEREAS, the GSPDC has determined that each Buyer is a qualified buyer and that that each Buyer's offer is reasonable and consistent with the GSPDC's mission and purpose; and

WHEREAS, the GSPDC has solicited competition for the each Property in accordance with the Property Disposition Policy; and

WHEREAS, if any Property is being sold to a Buyer who has not submitted the highest purchase offer for such Property, the Board of Directors has determined that the sale is justified for the reasons set forth on the Properties List, said reasons being consistent with the GSPDC's mission and purpose to facilitate the return of vacant, abandoned, and tax-delinquent properties to productive use; and

WHEREAS, the GSPDC desires to sell each Property to the corresponding Buyer identified on the Properties List at the price set forth therein; and

WHEREAS, as may be noted on the Properties List, the GSPDC shall require certain Buyers to execute and deliver a Development Enforcement Note and Mortgage to ensure that the Buyer fulfills its development and use commitments to the GSPDC.

NOW, THEREFORE, BE IT RESOLVED BY THE GREATER SYRACUSE PROPERTY DEVELOPMENT CORPORATION AS FOLLOWS:

Section 1. The recitals above are hereby incorporated into this Resolution as if fully set forth herein.

Section 2. The Members of the Board hereby authorize the GSPDC to sell each Property to the corresponding Buyer identified on the Properties List and authorize the Executive Director to enter into a Contract to Purchase with the GSPDC as seller and the Buyer as buyer with respect to each Property. Each Contract to Purchase shall be agreeable in form and content to the Executive Director and GSPDC counsel.

Section 3. The Chairman, Vice Chairman, Secretary and Treasurer are each hereby authorized to execute all documents on behalf of the GSPDC which may be necessary or desirable to further the intent of this Resolution and do such further things or perform such acts as may be necessary or convenient to implement the provisions of this Resolution. The Executive Director and the Director of Operations of the GSPDC are each also hereby authorized and directed for and in the name and on behalf of the GSPDC to execute agreements, instruments of conveyance and all other related documents pertaining to the conveyance of real property by the GSPDC.

Section 4. All other officers, employees and agents of the GSPDC are hereby authorized to execute and deliver all such certificates, instruments and documents, to pay all such fees, charges and expenses and to do all such further acts and things as may be necessary or, in the opinion of the officer, employee or agent acting, desirable and proper to effect the purposes of the foregoing Resolution.

Section 5. This Resolution shall take effect immediately.

The question of the adoption of the foregoing Resolution was duly put to a vote on roll call, which resulted as follows:

Vito Sciscioli	VOTING	___
Patrick Hogan	VOTING	___
Mike LaFlair	VOTING	___
Julie Cerio	VOTING	___
El-Java Abdul-Qadir	VOTING	___

The foregoing Resolution was thereupon declared and duly adopted.

STATE OF NEW YORK                    )  
COUNTY OF ONONADAGA            ) ss.:

I, the undersigned Secretary of the Greater Syracuse Property Development Corporation (the "GSPDC"), DO HEREBY CERTIFY, that I have compared the foregoing extract of the minutes of the meeting of the directors of GSPDC, including the Resolution contained therein, held on July 21, 2020 with the original thereof on file in my office, and that the same is a true and correct copy of such proceedings of GSPDC and of such Resolution set forth therein and of the whole of said original so far as the same related to the subject matters therein referred to.

I FURTHER CERTIFY that (A) all directors of GSPDC had due notice of said meeting; (B) said meeting was in all respect duly held; (C) pursuant to Article 7 of the Public Officers Law (the "Open Meetings Law"), said meeting was open to the general public and due notice of the time and place of said meeting was given in accordance with such Open Meetings Law; and (D) there was a quorum of the directors of GSPDC present through said meeting.

I FURTHER CERTIFY that, as of the date hereof, the attached Resolution is in full force and effect and has not been amended, repealed or rescinded.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of GSPDC this 18<sup>th</sup> day of August, 2020.

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Julie Cerio, Secretary



## July 21, 2020 Sales Summary

### 1) 1217 West Onondaga St. – Vacant Single-Family Property

Date Acquired: 08/17/2017      Listed: 03/23/2018  
 Current List Price: \$4,500      Days on Market: 470 days  
 Original List Price: \$16,900      Land Bank's Minimum Renovation Est: \$27,000.00

1217 West Onondaga St. is a vacant single-family property located in the Near Westside neighborhood. This property has four bedrooms, and one full bathroom. It sits up on a hill and does not have a driveway.

Abdalmajeed Pady is looking to purchase this home as his first rental property. He has many friends and family that have renovated homes who are eager to help him renovate this home and he will be hiring contractors for the electric, plumbing, and HVAC work.

Based on the Land Bank's disposition policies, staff recommend sale to Abdalmajeed Abdo Ahmed Pady, subject to an enforcement mortgage to be discharged once the proposed renovations are completed.

1217 West Onondaga St. Purchase Offer	
Applicant	Abdalmajeed Abdo Ahmed Pady
Offer	\$4,500
Plan	Renovate for Rental

### 2) 165 Berger Ave. – Vacant Single-Family Property

Date Acquired: 11/08/2019      Listed: 01/10/2020  
 Current List Price: \$8,500      Days on Market: 180 days  
 Original List Price: \$8,500      Land Bank's Minimum Renovation Est: \$26,000.00

165 Berger Ave. is a single-family home on the Southside with three bedrooms and one bathroom. It has a driveway and a double-lot.

Kerry Donai is a first-time homebuyer looking to purchase this home as her primary residence. Her father and brother have both purchased from the Land Bank before and have successfully completed full-house renovations. They plan to help Kerry through the renovation process.

Based on the Land Bank's disposition policies, staff recommend sale to Kerry Donai, subject to an enforcement mortgage to be discharged once the proposed renovations are completed.

165 Berger Ave. Purchase Offer	
Applicant	Kerry Donai
Offer	\$8,500
Plan	Renovate to Owner-Occupy



**3) 319 West Pleasant Ave. – Vacant Single-Family Property**

Date Acquired: 10/20/2016	Listed: 04/19/2017
Current List Price: \$3,500	Days on Market: 1,205 days
Original List Price: \$9,900	Land Bank’s Minimum Renovation Est: \$24,000

319 West Pleasant Ave. is a single-family home on the Southside with three bedrooms, one bathroom, some nice original features such as natural woodwork, hardwood floors, stained glass window, and some significant water damage. The property has a driveway and two-car garage that is in need of reconstruction.

Phyllip Martin of Phyllip Martin Real Estate & Property Management LLC, is an experienced local investor who has purchased from the Land Bank before and has successfully completed whole-house renovations. He also owns and operates his own real estate and property management company. He plans to renovate this home and use a rental property.

Based on the Land Bank’s disposition policies, staff recommend sale to Phyllip Martin Real Estate & Property Management LLC, subject to an enforcement mortgage to be discharged once the proposed renovations are completed.

<b>319 West Pleasant Ave. Purchase Offer</b>	
<b>Applicant</b>	<b>Phyllip Martin Real Estate &amp; Property Management LLC</b>
<b>Offer</b>	<b>\$3,500</b>
<b>Plan</b>	<b>Renovate for Rental</b>

**4) 255 North Midler Ave. – Vacant Single-Family Property**

Date Acquired: 11/08/2019	Listed: 12/06/2019
Current List Price: \$9,900	Days on Market: 284 days
Original List Price: \$9,900	Land Bank’s Minimum Renovation Est: \$70,000.00

255 North Midler Ave. is a single-family home in Eastwood with four bedrooms, one bathroom, a driveway and a detached one-car garage. The second floor of the home has a low ceiling height and the home will need extensive renovations. This home is in the Home Ownership Choice Program.

Silvio Ascenzo is a native of Syracuse and has been a home builder in the Syracuse area since 1973. He plans to renovate this home to re-sell to an owner-occupant.

A Shauvik Mittra is an experienced real estate investor based out of New Jersey. This will be his first purchase in Syracuse. He plans to renovate the home to re-sell to an owner-occupant.

Based on the Land Bank’s disposition policies, staff recommend sale to Silvio Ascenzo, subject to an enforcement mortgage to be discharged once the proposed renovations are completed and the property is sold to an owner-occupant.

<b>255 North Midler Ave. Purchase Offer</b>		
<b>Applicant</b>	<b>Silvio Ascenzo</b>	<b>A Shauvik Mittra</b>
<b>Offer</b>	<b>\$12,900</b>	<b>\$11,900</b>
<b>Plan</b>	<b>Renovate to Re-Sell to Owner-Occupant</b>	<b>Renovate to Re-Sell to Owner-Occupant</b>

**5) 100 Davis St. – Vacant Two-Family Property**

Date Acquired: 10/20/2015	Listed: 01/19/2018
Current List Price: \$2,500	Days on Market: 901 days
Original List Price: \$9,900	Land Bank’s Minimum Renovation Est: \$36,000.00

100 Davis St. is a two-family home in the Near Westside Neighborhood with three bedrooms and one bathroom in each unit. It also has a large lot where past demolition properties have been added to this property.

Brian Omar and Chelsea Gomez have a combined knowledge and experience in construction, investment, and property management. They plan to do a bulk of the renovation and property management work themselves and with the help of B&G Flooring, the family company that Brian works for. They will contract out for the electric, plumbing, and HVAC. They plan to reside in Syracuse for the entirety of the property renovation. They plan to renovate this home to operate as a rental. They look forward to completing the renovation and hopefully purchase more properties from the Land Bank in the future.

Jeanette and Michelle Gonzalez are sisters who plan to purchase the property to operate as a rental. Jeanette has previously purchased a home from the Land Bank in the NWS and successfully completed a whole-house renovation.

S. Daniel St. Louis is a real estate investor from NYC. This will be his first purchase in Syracuse. He plans to renovate this home to operate as a rental. He has already engaged local contractors to complete the renovation.

Based on the Land Bank’s disposition policies, staff recommend sale to Brian Omar and Chelsea Gomez, subject to an enforcement mortgage to be discharged once the proposed renovations are completed.

<b>100 Davis St. Purchase Offer</b>			
<b>Applicant</b>	Jeanette and Michelle Gonzalez	S. Daniel St. Louis	<b>Brian Omar and Chelsea Gomez</b>
<b>Offer</b>	\$2,600	\$6,000	<b>\$7,000</b>
<b>Plan</b>	Renovate for Rental	Renovate for Rental	<b>Renovate for Rental</b>

**6) 512 Cannon St. – Vacant Single-Family Property**

Date Acquired: 08/30/2018	Listed: 06/13/2019
Current List Price: \$8,900	Days on Market: 389 days
Original List Price: \$16,900	Land Bank’s Minimum Renovation Est: \$24,649.00

512 Cannon St. is a single-family home with three bedrooms, one bathroom, a driveway and a double-lot. It is in the Home Ownership Choice Program.

Raakhie Mittra lives in New Jersey and plans to renovate this home to re-sell to an owner-occupant. She will be relying heavily on her son Shauvik Mittra to facilitate the renovation. He is a real estate investor who has renovated homes before, this will be the first renovation he has overseen in Syracuse.

Based on the Land Bank’s disposition policies, staff recommend sale to Raakhie Mittra, subject to an enforcement mortgage to be discharged once the proposed renovations are completed and the home is sold to an owner-occupant.

<b>512 Cannon St. Purchase Offer</b>	
<b>Applicant</b>	<b>Raakhie Mittra</b>
<b>Offer</b>	<b>\$8,900</b>
<b>Plan</b>	<b>Renovate to Re-Sell to Owner-Occupant</b>

**7) 325 Hudson St. – Vacant Single-Family Property**

Date Acquired: 08/29/2019	Listed: 10/24/2019
Current List Price: \$5,000	Days on Market: 227 days
Original List Price: \$5,000	Land Bank’s Minimum Renovation Est: \$35,000.00

325 Hudson St. is a single-family home in the Southwest Neighborhood with four bedrooms and one bathroom. This home will need significant renovations.

Bruce Newman of One Village LLC is a Real Estate Agent with extensive home rehab experience. He has previously completed three whole-house renovations and plans to do some of the renovations at Hudson St. with his son and hire out for other work including the electric, plumbing, and HVAC.

Based on the Land Bank’s disposition policies, staff recommend sale to One Village LLC, subject to an enforcement mortgage to be discharged once the proposed renovations are completed.

<b>325 Hudson St. Purchase Offer</b>	
<b>Applicant</b>	<b>One Village, LLC</b>
<b>Offer</b>	<b>\$5,000</b>
<b>Plan</b>	<b>Renovate for Rental</b>

**8) 212 Lincoln Ave. – Vacant Two-Family Property**

Date Acquired: 06/20/2019	Listed: 1/22/2020
Current List Price: \$14,900	Days on Market: 188 days
Original List Price: \$14,900	Land Bank’s Minimum Renovation Est: \$47,336.14

212 Lincoln Ave. is a vacant two-family property located on the Southwest side. This property has three bedrooms and one bath in one unit and four bedrooms and one bath in the other unit. This home is adjacent to the back of the Southwest Community Center property.

Md Alamgir Ahsan and his sister Jesmin Farhana Ramiz are Syracuse residents interested in rehabbing and renting 212 Lincoln Ave. This would be their first rental property and experience as landlords.

Anthony Welch and Quentin Bellinger are investors who wish to rehab and rent 212 Lincoln Ave. Anthony is a local resident who grew up on the Southwest side of Syracuse, spent significant time at the Southwest Community Center, and returned here after college with the hopes of revitalizing the neighborhoods in which he grew up. He enlisted the help of his business partner Quentin Bellinger and together they have a goal of

improving inner-city life for residents and to give back to where they are from. They have passion and desire to improve the Southwest neighborhoods.

Based on the Land Bank’s disposition policies, staff recommend sale to Anthony Welch and Quentin Bellinger, subject to an enforcement mortgage to be discharged once the proposed renovations are completed.

212 Lincoln Ave. Purchase Offer		
Applicant	Anthony Welch and Quentin Bellinger	Md Alamgir Ahsan and Jesmin Farhana Ramiz
Offer	\$20,000	\$14,900
Plan	Renovate for Rental	Renovate for Rental

**9) 2201 South State Street. – Vacant Two-Family Property**

Date Acquired: 06/20/2019	Listed: 02/11/2020
Current List Price: \$9,900	Days on Market: 145 days
Original List Price: \$9,900	Land Bank’s Minimum Renovation Est: \$63,155.10

2201 South State Street is a vacant two-family home on the Southside with two bedrooms and one bathroom in each unit. The third floor has been converted to living space but has lost its non-conforming status and the applicants will apply for a change of occupancy to convert it to a two-family. The home sits on the corner of South State Street and McKinley Ave and there is a driveway and deteriorated garage on the McKinley Ave side of the property.

Md Hamiduzzaman, Humayan Kabir and Mohammed Sarker are investors looking to purchase their first home in Syracuse. They plan to renovate and rent 2201 South State Street. Md is a Syracuse resident who has already renovated one home in Syracuse. He will be the local property manager for the property. Humayan and Mohammed own properties in New York City and are experienced landlords. The three were efficient and timely in submitting all required paperwork and show sincere desire to move forward with the rehab and subsequent rental

Based on the Land Bank’s disposition policies, staff recommend sale to Md Hamiduzzaman, Humayun Kabir and Mohammed Sakir, subject to an enforcement mortgage to be discharged once the proposed renovations are completed.

2201 South State Street Purchase Offer	
Applicant	Md Hamiduzzaman, Humayun Kabir, and Mohammed Sakir
Offer	\$11,000
Plan	Renovate for Rental

**10) 263-65 Calthrop Ave – Vacant Single-Family Property**

Date Acquired: 07/31/2018	Listed: 09/23/2019
Current List Price: \$6,500	Days on Market: 286 days
Original List Price: \$9,900	Land Bank’s Minimum Renovation Est: \$31,879.05

263-65 Calthrop Ave. is a single-family property located on the Southside. It has four bedrooms, one full-bath and one half-bath. This home has a driveway, detached garage and fenced yard. It is listed in our Homeownership Choice Program.

Marion Daniels is a retired Postal Carrier from NYC. She has also worked for the NYPD prior to working for the Postal Service. Currently Marion resides in Ithaca with her son, daughter, and grandchildren and is looking to purchase, renovate and occupy a home in Syracuse where it is more affordable. She has been searching for quite a while and was very pleased with 263-65 Calthrop when viewing it. She is planning to reside there for many years to come and will have a professional contractor complete the necessary work.

Based on the Land Bank’s disposition policies, staff recommend sale to Marion Daniels subject to an enforcement mortgage to be discharged once the proposed renovated.

263-65 Calthrop Ave. Purchase Offer	
Applicant	Marion Daniels
Offer	\$6,500
Plan	Renovate to Owner-Occupy

#### 11) 807 Kirkpatrick St. – Vacant Single-Family Property

Date Acquired: 08/30/2018	Listed: 02/25/2019
Current List Price: \$2,500	Days on Market: 491 days
Original List Price: \$14,900	Land Bank’s Minimum Renovation Est: \$42,207.75

807 Kirkpatrick St. is a vacant single-family home with three bedrooms and one bathroom located on the Northside. This property needs considerable rehab and has been broken into several times. It has a driveway and sits on a large parcel.

Doe Reh is a Northside resident who owns a few other rental properties in that part of the city. He most recently rehabbed 301 Herbert Street and has working experience in the electrical construction trade. Doe will use 807 as a rental property once he has completed the rehab. He is working with Robert Stewart from Coldwell Banker as his real estate agent.

Based on the Land Bank’s disposition policies, staff recommend sale to Doe Reh subject to an enforcement mortgage to be discharged once the proposed renovations are completed.

807 Kirkpatrick St. Purchase Offer	
Applicant	Doe Reh
Offer	\$5,000
Plan	Renovate for Rental

#### 12) 103 Steuben St. – Vacant Multi-Family Property

Date Acquired: 04/28/2017	Listed: 01/30/2020
Current List Price: \$14,900	Days on Market: 157 days
Original List Price: \$22,500	Land Bank’s Minimum Renovation Est: \$70,068.30

103 Steuben St. is a vacant multi-family property with three units located on the Northside of the city. There are five total bedrooms and three total full bathrooms. The property has a garage and is zoned commercial.

Md Yaser Adnan and his sister Rifatia Tamanna are Syracuse residents who are looking to rehab and rent two of the three units in 103 Steuben. Md Yaser Adnan holds a BS in Engineering and an MBA and currently works as a technician. He and his family will be occupying the third unit. This will be his first experience as a landlord.

Based on the Land Bank’s disposition policies, staff recommend sale to Md Yaser Adnan and Rifatia Tamanna, subject to an enforcement mortgage to be discharged once the proposed renovations are completed.

<b>103 Steuben St. Purchase Offer</b>	
<b>Applicant</b>	<b>Md Yaser Adnan and Rifatia Tamanna</b>
<b>Offer</b>	<b>\$14,900</b>
<b>Plan</b>	<b>Renovate for Owner-Occupancy and Rental</b>

### **13) 1629 W. Onondaga St. – Vacant Single-Family Property**

Date Acquired: 10/30/2018	Listed: 06/25/2019
Current List Price: \$1,000	Days on Market: 376 days
Original List Price: \$14,900	Land Bank’s Minimum Renovation Est: \$63,355.60

1629 W. Onondaga St is a four-bedroom, one-full bathroom home in the Skunk City neighborhood. It has a driveway and backyard. This home is in our Homeownership Choice Program.

Sol Karen Tellez and her husband Jose are residents of California who will be moving their family to Syracuse in the near future. Karen works in education and Jose is a carpenter. They have seven children and the size of 1629 W. Onondaga is perfect for their family.

Based on the Land Bank’s disposition policies, staff recommend sale to Sol Karen Tellez, subject to an enforcement mortgage to be discharged once the proposed renovations are completed.

<b>1629 W. Onondaga St. Purchase Offer</b>	
<b>Applicant</b>	<b>Sol Karen Tellez</b>
<b>Offer</b>	<b>\$1,000</b>
<b>Plan</b>	<b>Renovate to Owner-Occupy</b>

### **14) 113 Byrne Place – Vacant Single-Family Home**

Date Acquired: 10/26/2017	Listed: 7/8/20
Current List Price: \$94,500	Days on Market: 1 day
Original List Price: \$94,500	Land Bank’s Minimum Renovation Est: N/A – this house was fully renovated using HOME funds. Sale is subject to income/affordability restrictions.

We initially tried selling this home as is with no luck. In the summer of 2018, we replaced the septic tank thinking that would help, but still didn't have any luck selling it. We applied for HOME funds in 2019 and just completed a full renovation. The home will have to be sold to a buyer whose household income is 80% of Area Median Income (AMI) or less and their monthly housing expenses cannot exceed 30% of their gross

monthly income. We listed the home on 7/8/20 and had an offer by the next morning from a buyer who is income qualified. Neighborhood and Business Development has confirmed that the buyer is income qualified. NBD will supply us with restrictive covenants to include in the deed and the buyer will have to sign a HOME Program Agreement with them. Since it is a fully renovated house subject to their income/owner-occupancy restrictions (for which we will have to do annual monitoring), there is no need for one of the Land Bank’s enforcement mortgages. She is buying this home with an FHA mortgage and offering \$100,531.91 so that she can ask for \$6,031.91 in seller’s concessions to cover her closing costs – this will net the Land Bank our asking price of \$94,500. I have attached a project budget showing that this project will generate approx. \$13,000 in developer fee revenue for the Land Bank.

Based on the Land Bank’s disposition policies, staff recommend sale to Carly Pelletier subject to the HOME funding restrictions placed on the house.

<b>113 Byrne Place Purchase Offer</b>	
<b>Applicant</b>	<b>Carly Pelletier</b>
<b>Offer</b>	<b>\$94,500</b>
<b>Plan</b>	<b>Renovate to Owner-Occupy</b>

**15) 1223, 1225, and 1227 W Fayette Street - Two vacant lots and one demo candidate (all commercially zoned)**

Dates acquired: 3/24/17, 4/1/15, and 3/29/18

Total size: .2 acres

Listing price: \$5,000

We listed these three as a group, indicating that the Land Bank would demolish the existing structure if a buyer would build new here. This is zoned Local Business, Class A. The parcels front on both W. Fayette Street and Nelson Street. The applicant owns properties on Tipp Hill and has experience with commercial development projects from recently redeveloping Brillbeck’s into the Now & Later. He understands that the new construction here will have to go through Project Site Review with the City. He wishes to build a woodshop. Carpentry is a hobby for him and his uncle and they wish to grow it into a small furniture business. They are willing to build either a metal pole barn type structure or a two-story building with an apartment upstairs. Elevations of each option attached. His \$6,000 offer will help offset the cost of demolition. Demo bids are due Monday, July 20.

Based on the Land Bank’s disposition policies, staff recommend sale to Jason Purdy, on the condition that the Land Bank demolish this structure and that Mr. Purdy obtain all necessary permits for new construction prior to closing and subject to an enforcement mortgage requiring him to complete the permitted project within 12 months of taking title.

<b>1223, 1225, and 1227 W Fayette Street Purchase Offer</b>	
<b>Applicant</b>	<b>Jason Purdy</b>
<b>Offer</b>	<b>\$6,000</b>
<b>Plan</b>	<b>New Construction</b>

**16) 409 Shonnard St. – Non-Buildable Vacant Lot**

Date Acquired: 03/03/2016

Dimensions: 33’ x 152’

Pricilla Roberts owns the two-family house at 407 Shonnard St. where her sister lives. She would like to purchase the non-buildable vacant lot at 409 Shonnard Street for additional yard space. The City owns the property on the other side of the lot which contains a segment of the pedestrian pathway that traverses the Near Westside neighborhood so there is no logical buyer on the other side.

Based on the Land Bank’s disposition policies, staff recommends the sale of 409 Shonnard Street to Pricilla Roberts, contingent upon her resubdividing and combining the lot with her adjacent property.

<b>409 Shonnard St. Purchase Offer</b>	
<b>Applicant</b>	<b>Pricilla Roberts</b>
<b>Offer</b>	<b>\$976.00</b>

**17) 927 Butternut Street – Non-Buildable Vacant Lot**

Date Acquired: 9/21/2017

Dimensions: 30’ x 136’

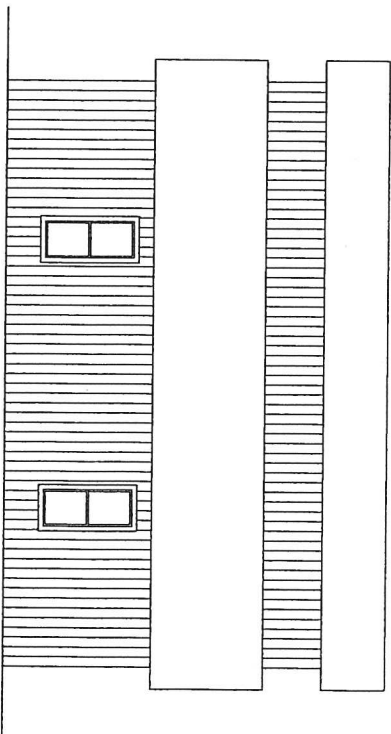
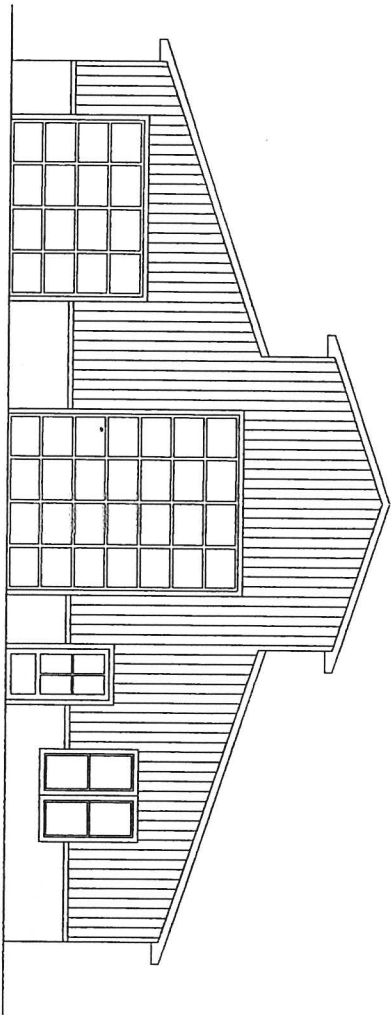
The Land Bank acquired this non-buildable vacant lot in September 2017. Lynn Musenga recently purchased the three-family house at 925 Butternut Street and would like the vacant lot to use it as additional yard space for her tenants. The owner at 931 Butternut Street is disqualified due to owing back taxes.

Based on the Land Bank’s disposition policies, staff recommends the sale of 927 Butternut Street to Lynn Musenga, contingent upon her resubdividing and combining the lot with her adjacent property.

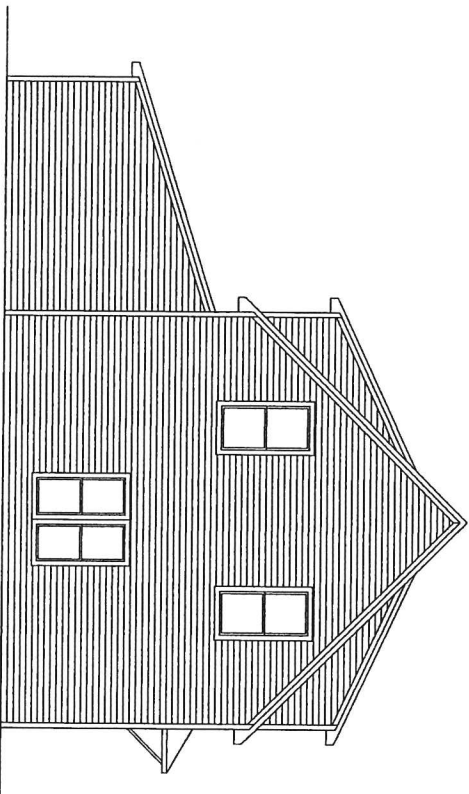
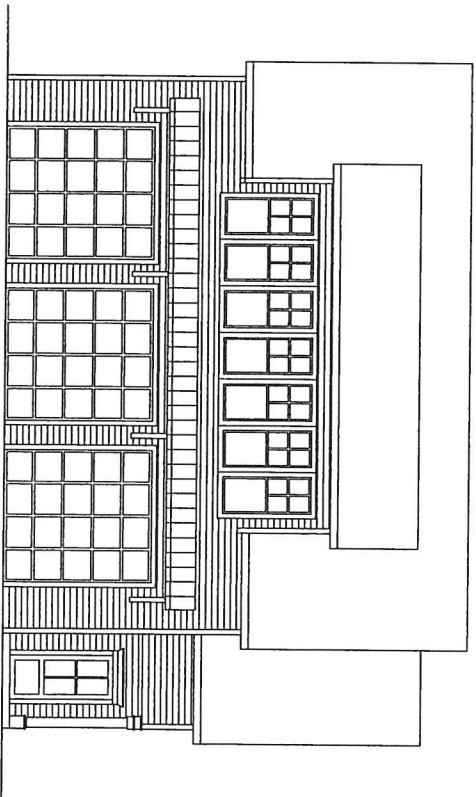
<b>927 Butternut St. Purchase Offer</b>	
<b>Applicant</b>	<b>Lynn Musenga</b>
<b>Offer</b>	<b>\$976.00</b>



OPTION 1



Option 2





**REQUEST FOR PROPOSALS**  
**Seeking qualified developers to purchase and redevelop**  
**the former South Presbyterian Church**  
**located at 2110 S. Salina Street at Colvin Street**



Issued by: Greater Syracuse Land Bank  
431 E. Fayette Street, Suite 375  
Syracuse NY 13202

RFP Coordinator: Katelyn Wright  
Phone: (315) 422-2302  
Email: [kwright@syracuselandbank.org](mailto:kwright@syracuselandbank.org)

**DUE DATE: July 8, 2020 at Noon**

## **I. Purpose and Background**

The Greater Syracuse Land Bank obtained this property from the City of Syracuse subsequent to foreclosure for property tax delinquency. The property is listed on the National Register of Historic Places and a developer renovating the property may qualify for state and federal Historic Rehabilitation Tax Credits. The Land Bank's mission is to return abandoned properties to productive use. We are seeking proposals for the redevelopment of this property in order to identify a highly qualified developer with a feasible plan, due to its unique historic nature and severely distressed condition.

Applicants can assume a nominal acquisition price (the Land Bank would like to recoup our costs into the property thus far), but must submit a purchase application (attached) that outlines:

- your plans for the property's ultimate use,
  - This use should include public access to the sanctuary space
  - Preference will be given to plans that emphasize community access to the building or that otherwise provide community benefits
- redevelopment plan and budget,
- a statement of your experience, skills, and capacity to complete the project,
- financial capacity to carry out the proposed redevelopment, and
- a financially viable operating pro forma.

Preference will be shown for qualified developers that are based in the neighborhood and that commit to hire from within the neighborhood for the redevelopment project and, ultimately, for the operation of the property.

## **II. Location and Siting**

2110 S. Salina Street is located at the northwest corner of the intersection of Salina and Colvin Streets. Due to a jog in the street it is squarely in the line of site of drivers coming downhill headed west on E. Colvin Street. The building sits approximately 1.5 miles south of Downtown Syracuse. The parcel is 127' on the Salina Street side and 263' on the Colvin Street side – totaling approximately .75 acres. A little less than ½ of the parcel is occupied by the building, the remaining portion is an asphalt parking lot.

A 50' by 144' asphalt parking lot located directly north of the property is owned by the City of Syracuse and it may be possible to negotiate purchase or lease of that lot in order to support this project.

See attached boundary surveys showing building footprints.

## **III. Building Description and Condition**

The church is an L-shaped masonry building consisting of a 1902 chapel and much larger sanctuary built in 1907. The chapel was entirely incorporated into the larger church complex. The exterior and the sanctuary underwent few changes in more than a century of use except for the removal and replacement of stained glass windows in 2008 (see below). The church retains a high level of

architectural integrity from its period of significance. The lot includes the original rectangular mid-block lot on West Colvin Street that contained the first chapel and the larger adjacent corner lot purchased later. These lots were combined in 1905 for the construction of the existing church. An aerial view of the building clearly shows how the pre-existing chapel was incorporated into the new design when the lots were joined.

It is a 29,410 Romanesque style masonry building. Original light fixtures and windows have been replaced. The interior of the 1902 chapel was upgraded in the 1950s or 60s. A 2005 report by Zausmer, Frisch, Scruton & Aggarwal Designers/Builders contains floorplans and the executive summary of a Phase I ESA that is available for your review.

This property was vacant and abandoned for 10 years prior to tax-foreclosure and acquisition by the Land Bank. It is threatened by deterioration caused by prior owners' negligence during this time. Stabilization of the building envelope to stop moisture intrusion is urgently needed if this building will have a chance to be saved. Per the roof report and building conditions report completed by Holmes King Kallquist & Associates, Architects, LLP (HKK) in 2017:

- 1) significant leaks in the flat roofed portions of the building are causing structural damage within the building that poses an immediate threat of collapse to portions of the building,
- 2) damaged flashing is allowing excess drainage down the sides of the building causing exterior stone to delaminate and "flake off" in sheets (posing a safety hazard to passing pedestrians) and deteriorating mortar in areas that now need to be repointed,
- 3) missing tiles and damage to flashing in the valleys of the sloped, tile roofed portion of the building are causing interior plaster damage although the roof decking examined from the interior of the attic appears to be in salvageable condition.

In addition to these issues caused by roof deterioration and resulting exterior masonry deterioration, the windows are in need of repair. Wood windows throughout the building are weathered and deteriorated to the point that they are no longer weather-tight – these require sanding, repair, epoxy fill for weather checks, and repainting.

Collectively, moisture intrusion from the window and roof issues is causing plaster deterioration throughout the building – in addition to the plaster deterioration caused directly by roof leaks.

The property had been vacant for 10 years when it was foreclosed upon by the City of Syracuse for property tax delinquency and conveyed to the Land Bank in 2015. Since then, the Land Bank has undertaken interim stabilization measures and gotten the property listed on the National Register of Historic Places – making it eligible for the EPF program and making future developers eligible for Historic Rehabilitation Tax Credits. An EPF application, which would provide funding for roof repairs, repointing of exterior masonry, and window repairs, is currently pending.

#### **IV. Prior Studies/Reports**

- Boundary Survey
- Local Protected Site (landmark) Nomination
- National Register of Historic Places Nomination
- 2005 Building Conditions Report and Roof Report  
(Zausmer, Frisch, Scruton & Aggarwal Designers/Builders) We have CAD files of the floorplans from this project that we can share with you upon request – email [kwright@syracuselandbank.org](mailto:kwright@syracuselandbank.org)
- 2005 Phase I Environmental Site Assessment
- 2016 limited asbestos testing
- 2017 Updated Building Conditions Reports and Roof Report  
(Holmes King Kallquist)

#### **V. Open House**

An Open House will be held Friday, June 19 from Noon – 2:00 PM.

#### **VI. Environmental Conditions and Asbestos and Lead Abatement**

A preliminary asbestos sampling was taken at 2110 S. Salina Street. This report is attached. No additional testing has been conducted. No asbestos or lead-paint survey or abatement has been conducted in the property; it should be presumed that the property likely contains asbestos, lead, and mold.

#### **VII. Purchase price**

Applicants can assume a nominal acquisition price, although the Land Bank would like to recoup our costs into the property thus far. Depending on the specifics of the development plan and budget the Land Bank might consider a long term lease, holding a mortgage with the purchase price to be due only upon project completion, waiving the purchase price for an equity stake in the project, or other terms to be determined by negotiation.

#### **VIII. Landmark Status/Historic Tax Credits**

This property is both a Local Protected Site and is listed on the National Register of Historic Places. Any exterior alterations to Local Protected Sites must be approved by the Syracuse Landmark Preservation Board. See [http://www.syr.gov.net/Historic\\_Preservation.aspx](http://www.syr.gov.net/Historic_Preservation.aspx) and/or contact the City's Historic Preservation Officer, Kate Auwaerter, at [kauwaerter@syr.gov.net](mailto:kauwaerter@syr.gov.net) or 448-8108 for more information.

National Register status entitles renovation of these properties to State and Federal Historic Rehabilitation Tax Credits. If the purchaser wishes to claim the credits, the renovation must comply with certain historic standards and is subject to review by the State Historic Preservation Office.<sup>1</sup> If

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<sup>1</sup> Exterior alterations will be subject to review by the Syracuse Landmark Preservation Board whether the credits are claimed or not, due to its Local Protected Site status. Claiming the credits would subject the interior of the properties to historic review, as well.



the building is used for commercial purposes (residential rentals are included in this category) the project can earn federal and state credits for up to 20% of eligible renovation costs. For more information please visit: <http://nysparks.com/shpo/tax-credit-programs/>

#### **IX. Development Incentives**

Depending on the ultimate use and ownership of the property, they may qualify for grants and incentives offered through the City's Department of Neighborhood & Business Development. See more here: [http://www.syr.gov.net/Development\\_Incentives.aspx](http://www.syr.gov.net/Development_Incentives.aspx) and/or call (315) 473-3275 for more information.

#### **X. Zoning and Permits**

The property is located in a commercial area and the other three corners of the intersection are occupied by a library, a bank, and a post office. The parcel is currently zoned Residential, Class AA. We expect it to be rezoned for commercial/mixed-use in the upcoming rezone, but if that does not happen the Land Bank would apply for and obtain the necessary use variance prior to conveying it to the developer.

Applicants should have preliminary conversations with the Central Permit Office staff about the approvals process that will be required to implement their redevelopment plan. For more information please visit: [http://www.syr.gov.net/Central\\_Permits\\_Home.aspx](http://www.syr.gov.net/Central_Permits_Home.aspx) and/or call (315) 448-8615.

#### **XI. Post-Sale Restrictions – “Enforcement Mortgage”**

The Land Bank will hold a lien against the property secured by a mortgage, which will be discharged once the property is fully renovated and/or redeveloped. The selected purchaser and the Land Bank will agree to a development timeline with performance benchmarks that must be met to avoid financial penalties and/or foreclosure on the mortgage held by the Land Bank. Reasonable delays in the development process are understandable, but the applicant must demonstrate a good faith effort to meet the benchmarks agreed upon by both parties and incorporated into this agreement.

#### **XII. Proposal Submission**

Please review and complete the Land Bank's purchase application. Page three of the application outlines proposal requirements some of which are elaborated on here:

- Description of applicant's experience/qualifications to complete the proposed project
  - Purchaser or a member of their development team must have experience with adaptive reuse and renovation of existing properties
  - Development team must include one or more local, experienced people who will be available for day-to-day supervision of this redevelopment project
- List of other properties owned in Onondaga County
- Itemized Redevelopment Budget (uses of funds)
  - Include itemized costs of all anticipated hard and soft costs
  - Aside from restoration of the existing building, describe in detail any ways in which your plan will include alterations of the existing form, layout, and/or materials

- Indicate whether you would include any new construction on the site; attach a site plan and renderings if applicable
- Indicate whether you'll be applying for Historic Rehabilitation Tax Credits and whether you intend for your plan to follow the Secretary of the Interior's Standards for Historic Rehabilitation
- Proof of Financing (sources of funds)
 

Detail all equity investment, tax-credits, loans, and grants that will cover the project costs

  - Buyer must demonstrate ability to invest considerable equity in the project; provide bank statements
  - Attach conditional commitments for construction and permanent financing
  - Outline the specific grants that you intend to apply for including due dates and expected award dates; provide commitment letters for any already secured
- Management Plan/Operating Pro Forma + description of how the properties will be managed
  - Will you operate your own business here or lease to tenants? Describe building operations and users.
  - Operating pro forma should show sufficient income to cover debt payments and generate return for investors
- \$1,000.00 deposit (will be returned if you are not awarded the property)
- Articles of Incorporation or Articles of Organization (corporate applicants)
- Copy of Applicant's Photo ID

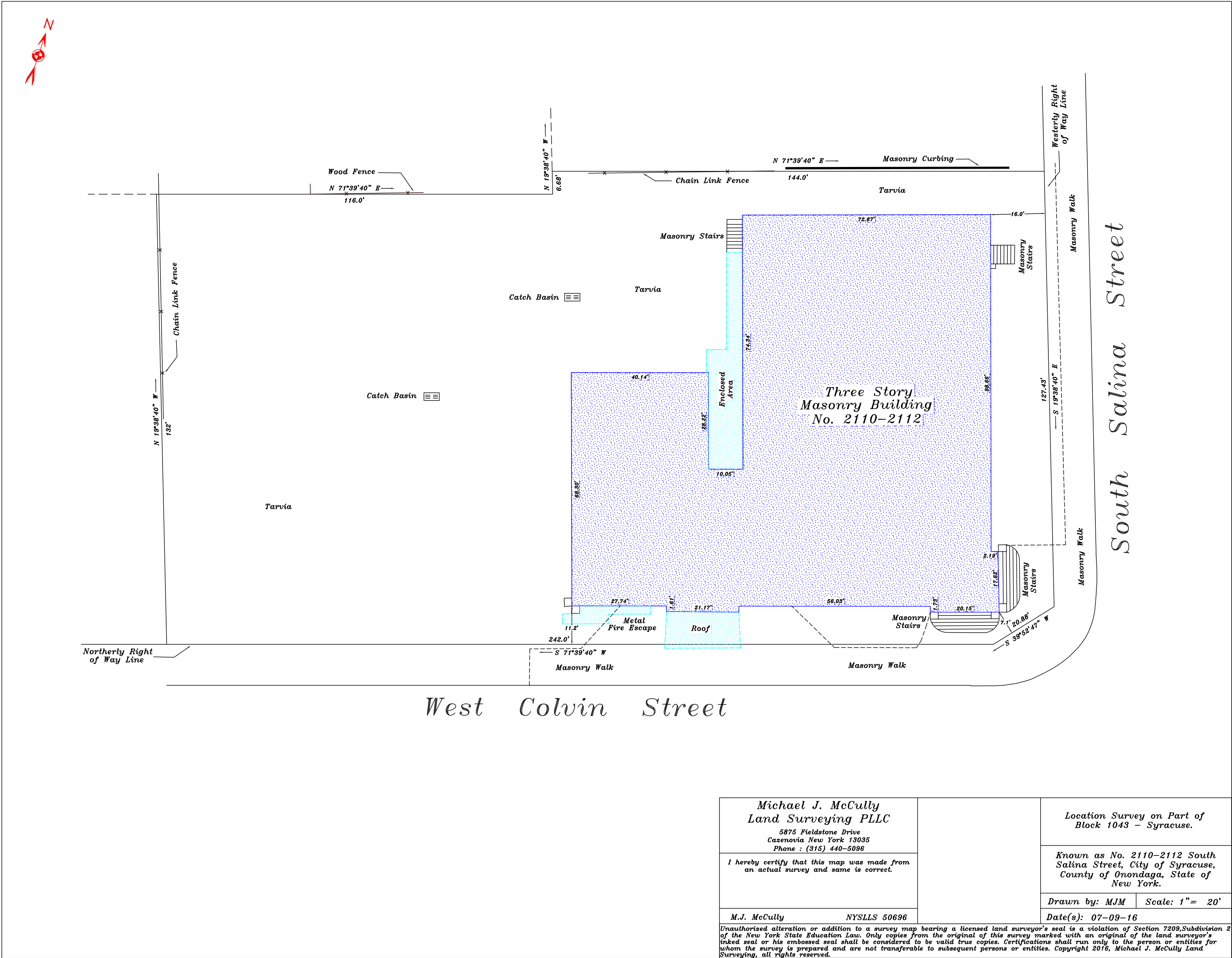
### **XIII. Submission Evaluation and Selection**

Complete proposals will be reviewed by a committee comprised of Land Bank staff and board members, members of the Land Bank Citizens Advisory Board, neighborhood stakeholders, elected officials, and City Planning and Neighborhood & Business Development staff. This committee will make a recommendation to the Land Bank's Board of Directors.

The developer selected will be awarded an option to purchase, with closing contingent upon their securing construction and permanent financing, commitments for any necessary gap financing, and obtaining the necessary permits for redevelopment of the site.

Proposals must be submitted via email to [kwright@syracuselandbank.org](mailto:kwright@syracuselandbank.org) no later than noon on July 8, 2020.







PREPARED FOR THE  
**GIFFORD FOUNDATION**

SOUTHSIDE INTERFAITH  
HOUSING CORPORATION

**BUILDING REVIEW**

SOUTH PRESBYTERIAN CHURCH  
112 WEST COLVIN STREET  
SYRACUSE, NY

APRIL 2005

**ZAUSMER · FRISCH**  
**SCRUTON & AGGARWAL**  
DESIGNERS / BUILDERS



# GIFFORD FOUNDATION

## SOUTHSIDE INTERFAITH HOUSING CORPORATION

### BUILDING REVIEW

THE INTENT OF THIS BUILDING REVIEW IS TO PRESENT AN OVERALL STATE OF THE EXISTING STRUCTURE FOR A NEW USE AS A COMMUNITY HALL. THE GENERAL CONDITION OF THE BUILDING, ROOF CONDITION MECHANICAL AND ELECTRICAL SYSTEMS WERE INSPECTED AND A PHASE ONE ENVIRONMENTAL STUDY COMPLETED AND ARE ATTACHED AS PART OF THIS REPORT.

#### BUILDING DESCRIPTION

THE BUILDING IS MADE UP OF TWO MAIN STRUCTURES, THE ORIGINAL PRE 1906 AREA AND WHAT IS NOW THE MAIN CHURCH STRUCTURE. THE COMBINED BUILDING IS A TWO AND A HALF STORY STRUCTURE.

THE LOWER LEVEL CONSISTS OF THE KITCHEN, DINING AREAS, CLASSROOMS, MEETING ROOMS AND TOILET ROOMS.

THE MAIN LEVEL HAS ADMINISTRATIVE OFFICES, COMMUNITY ROOM AND THE CHURCH.

THE PARTIAL SECOND FLOOR HAS OFFICES AND THE CHURCH MEZZANINE.

THE OVERALL INTERIOR APPEARANCE IS THAT IT IS AN OLD BUILDING IN NEED OF A FACE LIFT ATLEAST AND EVEN BETTER SUBSTANTIAL RENOVATIONS. THE LIGHTING IS OLD AND DIM. NUMEROUS ROOF LEAKS HAVE COLLAPSED CEILINGS IN SOME AREAS, EVEN SOME PLASTERED WALLS HAVE DETERIORATED TO THE BRICK STRUCTURE.

THE TOILET FACILITIES ARE OLD, SOME FIXTURES ARE OUT OF ORDER AT THIS TIME AND ARE NOT HANDICAPPED ACCESSIBLE.

THE BUILDING IS NOT HANDICAP ACCESSIBLE BY PRESENT STANDARDS. THERE IS A RAMP TO THE LEVEL FROM THE PARKING LOT AS WELL AS TWO STAIR CLIMBER CHAIRS AT THE SIDE ENTRY STAIR LANDING, ONE TO THE LOWER LEVEL AND ONE TO THE MAIN FLOOR LEVEL.

AS NOTED IN THE PHASE ONE REPORT THE POSSIBILITY OF THE PRESENTS OF ASBESTOS AND LEAD PAINT EXIST. THIS WOULD REQUIRE ADDITIONAL INVESTIGATION AND SAMPLE TESTING TO CONFIRM THE LOCATIONS AND EXTENT IF QUESTIONABLE AREAS ARE DISTURBED DURING RENOVATIONS.

EXTERIOR CONDITION, THE MAIN ITEM OF CONCERN IS THE STATE OF THE ROOF, WHICH IS IN NEED OF CONSIDERABLE WORK, SEE ROOF REPORT.

MASONRY WALLS HAVE SOME AREAS NEEDING REPOINTING AND SOME AREAS MAY NEED TO BE REBUILT.

MANY AREAS OF SOFFITS AND FASCIAS NEED TO BE REPLACED AS DETERIORATIONS HAS PROGRESSED BEYOND REAIR.

THE STAINED GLASS WINDOWS HAVE BEEN COVERED (FOR SOME TIME) W/ A PROTECTIVE TRANSLUCENT PANELS. THESE PANELS HAVE PROTECTED THE GLASS FROM EXTERIOR DAMAGE, BUT HAVE BEEN THE CAUSE OF DAMAGE AS WELL. HEAT BUILD UP BETWEEN THE TWO LAYERS HAS CAUSED SOME EXPANSION AND BOWING OF THE LEAD AROUND THE STAINED GLASS PIECES.

THE VALUE OF THE STAINED GLASS WINDOWS IS NOT INCLUDED IN THIS REPORT, HOWEVER THE VALUE OF THE WINDOWS COULD POSSIBLY BE CONSIDERABLE. TO DETERMINE THE VALUE WOULD REQUIRE FURTHER INVESTIGATION.

THE REMAINING WINDOWS ARE OLD AND NOT VERY ENERGY EFFICIENT AND SHOULD BE REPLACED.

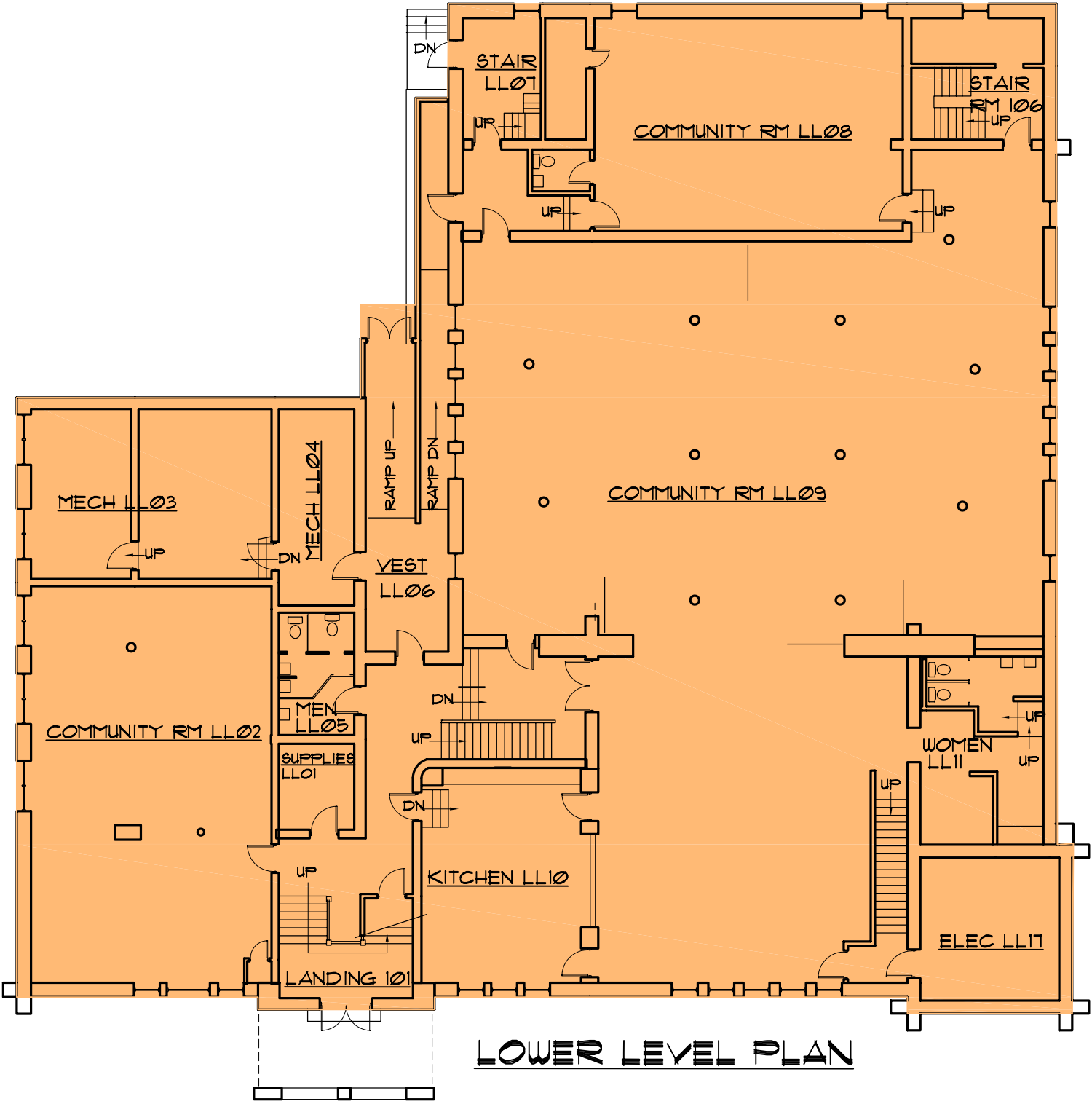
MECHANICAL AND ELECTRICAL SYSTEMS ARE FUNCTIONING, BUT ARE OUT DATED AND SHOULD BE REPLACED (SEE ATTACHED REPORTS)

NOTE: THE BUILDING IS A "LOCALLY PROTECTED SITE" BY THE SYRACUSE LANDMARK PRESERVATION BOARD. ANY CHANGES TO THE EXTERIOR/INTERIOR WOULD NEED TO BE REVIEWED AND APPROVED BY THE BOARD. THIS LISTING WAS AT THE REQUEST OF THE SOUTH PRESBYTERIAN CHURCH, MARCH 1993.

SUMMARY -THE BUILDING IS FUNCTIONING AS A CHURCH AND FOR IT'S ACCESSORY PROGRAMS. BUT IT IS NEED OF IMMEDIATE REPAIRS TO THE ROOF TO PREVENT FURTHER DAMAGE TO STRUCTURE AND FINISHES. TO CHANGE FROM A CHURCH TO A COMMUNITY HALL (AS NOTED IN CODE REVIEW) ELECTRICAL AND VENTILATION WORK IS REQUIRED. ADDITIONAL RENOVATIONS WOULD BE AT THE DESIRE OF THE OWNER AND NOT REQUIRED BY NYS CODE.



SQUARE FOOT AREAS

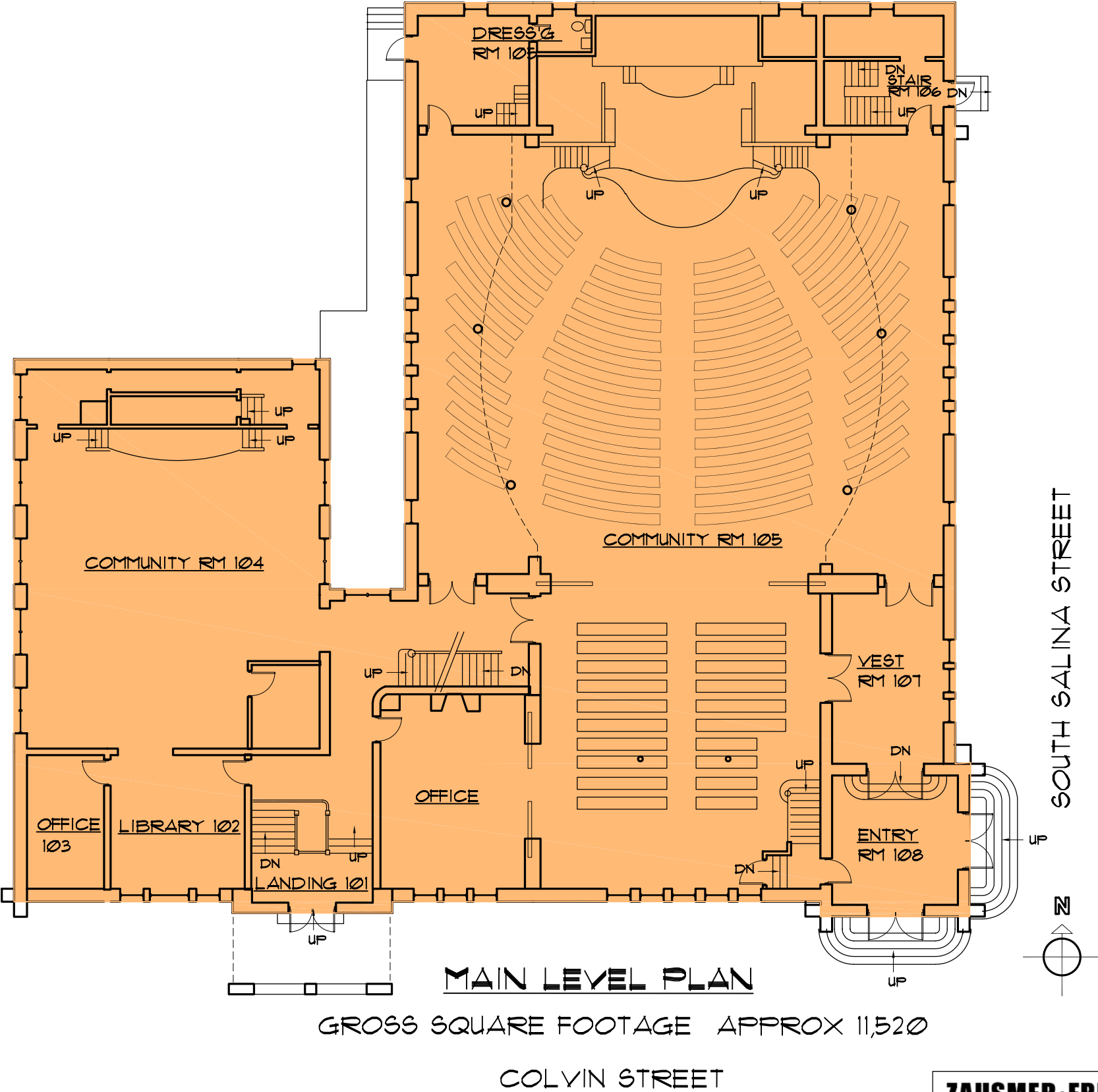


GROSS SQUARE FOOTAGE APPROX 12,020

COLVIN STREET

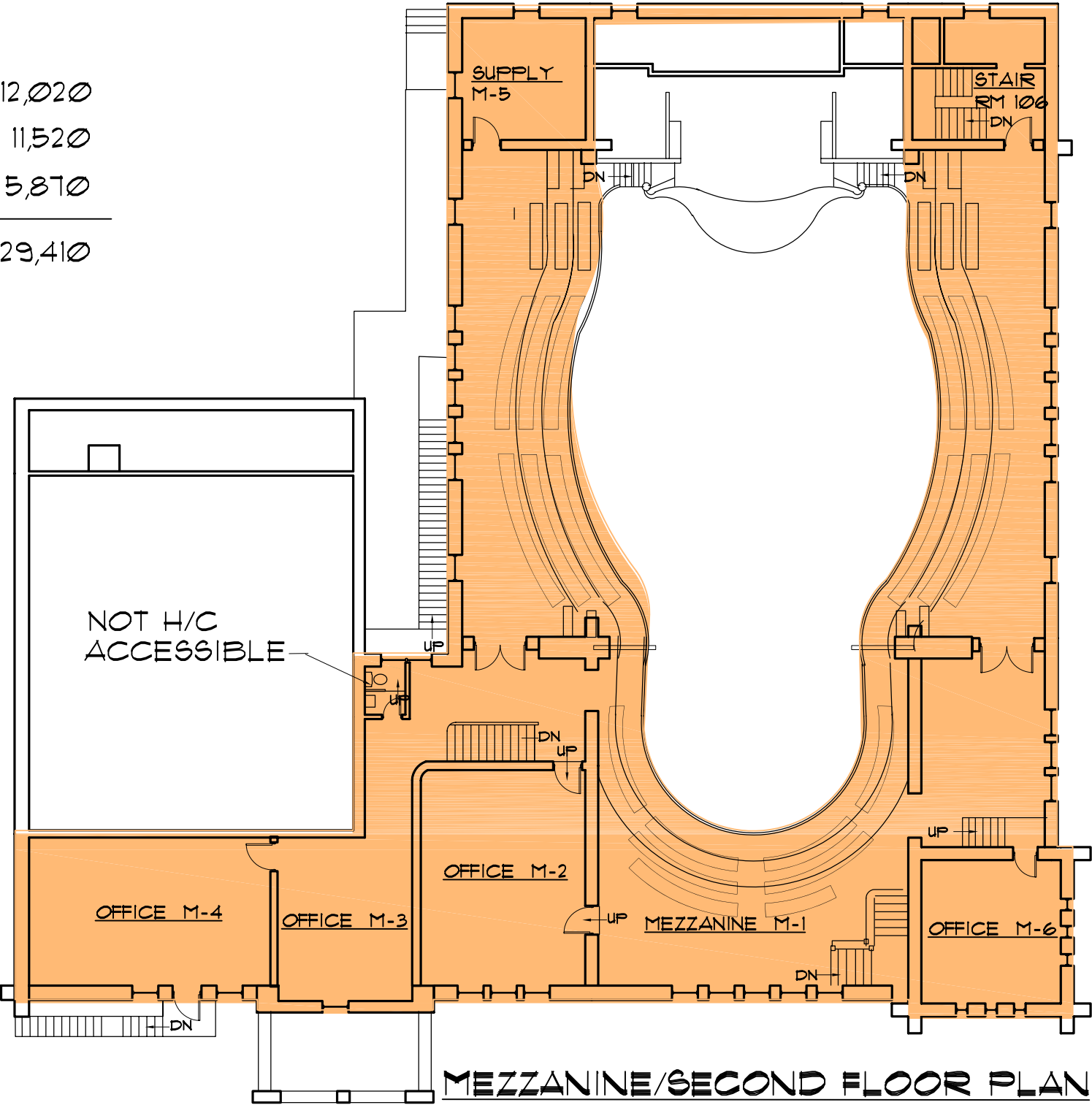
SOUTH SALINA STREET

SQUARE FOOT AREAS



LOWER LEVEL SQFT APPROX	12,020
MAIN LEVEL SQFT APPROX	11,520
MEZZ SQFT APPROX	5,870
TOTAL SQFT APPROX	29,410

SQUARE FOOT AREAS



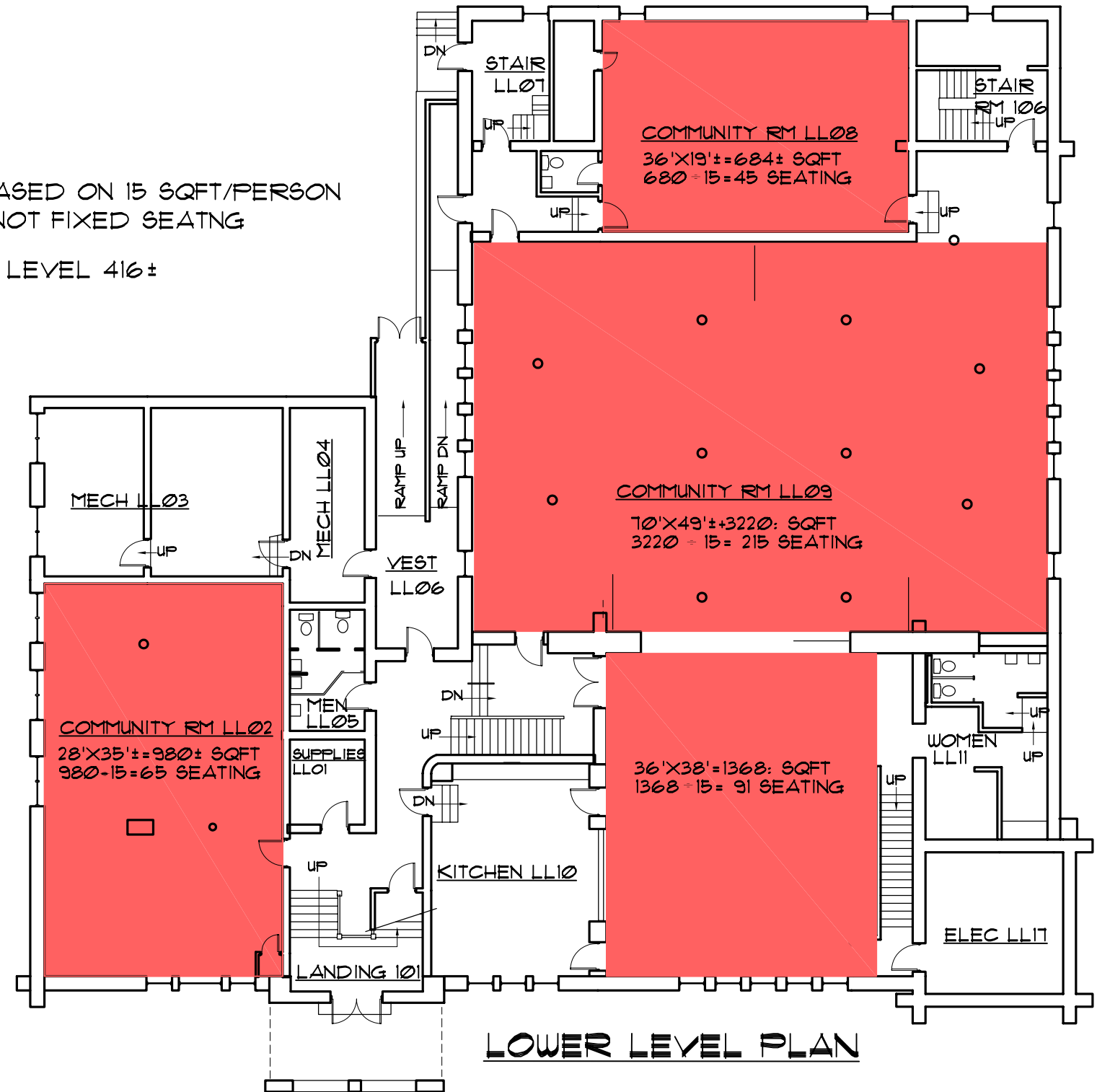
MEZZANINE/SECOND FLOOR PLAN  
GROSS SQUARE FOOTAGE APPROX 5,870

COLVIN STREET

SOUTH SALINA STREET

# SEATING CAPACITY

SEATING CAPACITY BASED ON 15 SQFT/PERSON  
WHEN SEATING IS NOT FIXED SEATING  
CAPACITY LOWER LEVEL 416±

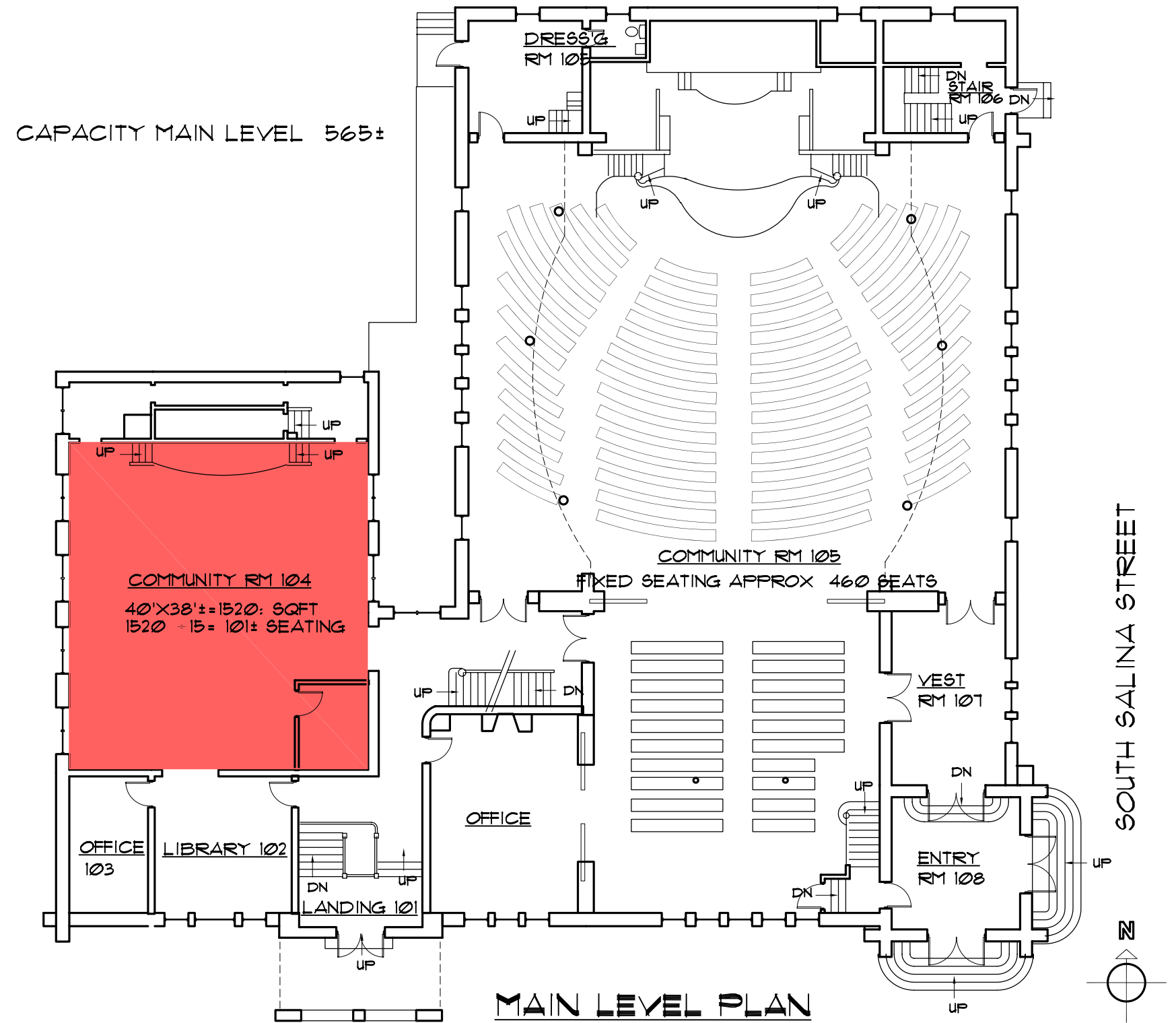


COLVIN STREET

SOUTH SALINA STREET



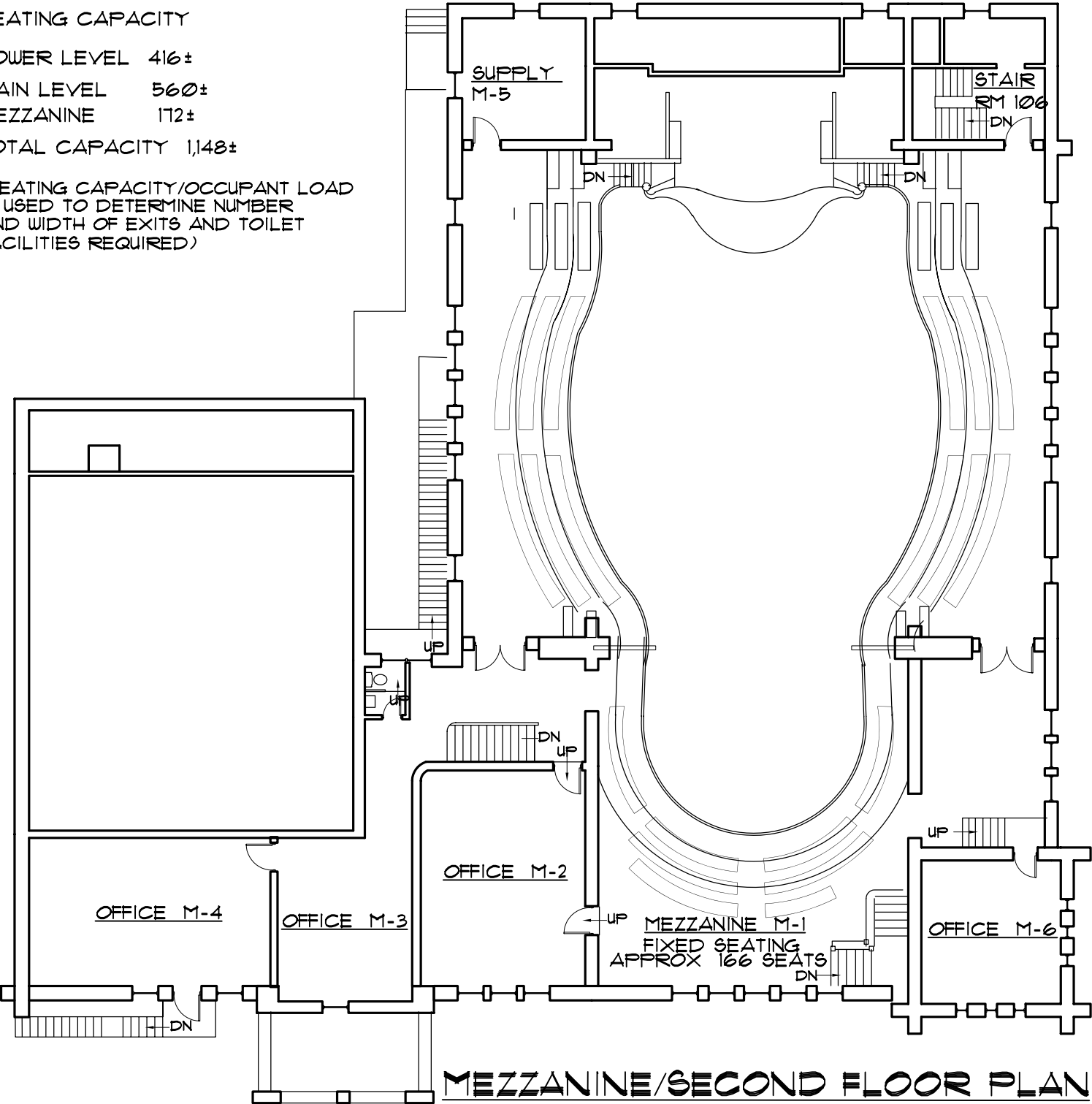
# SEATING CAPACITY



SEATING CAPACITY

SEATING CAPACITY  
LOWER LEVEL 416±  
MAIN LEVEL 560±  
MEZZANINE 172±  
TOTAL CAPACITY 1,148±

(SEATING CAPACITY/OCCUPANT LOAD  
IS USED TO DETERMINE NUMBER  
AND WIDTH OF EXITS AND TOILET  
FACILITIES REQUIRED)



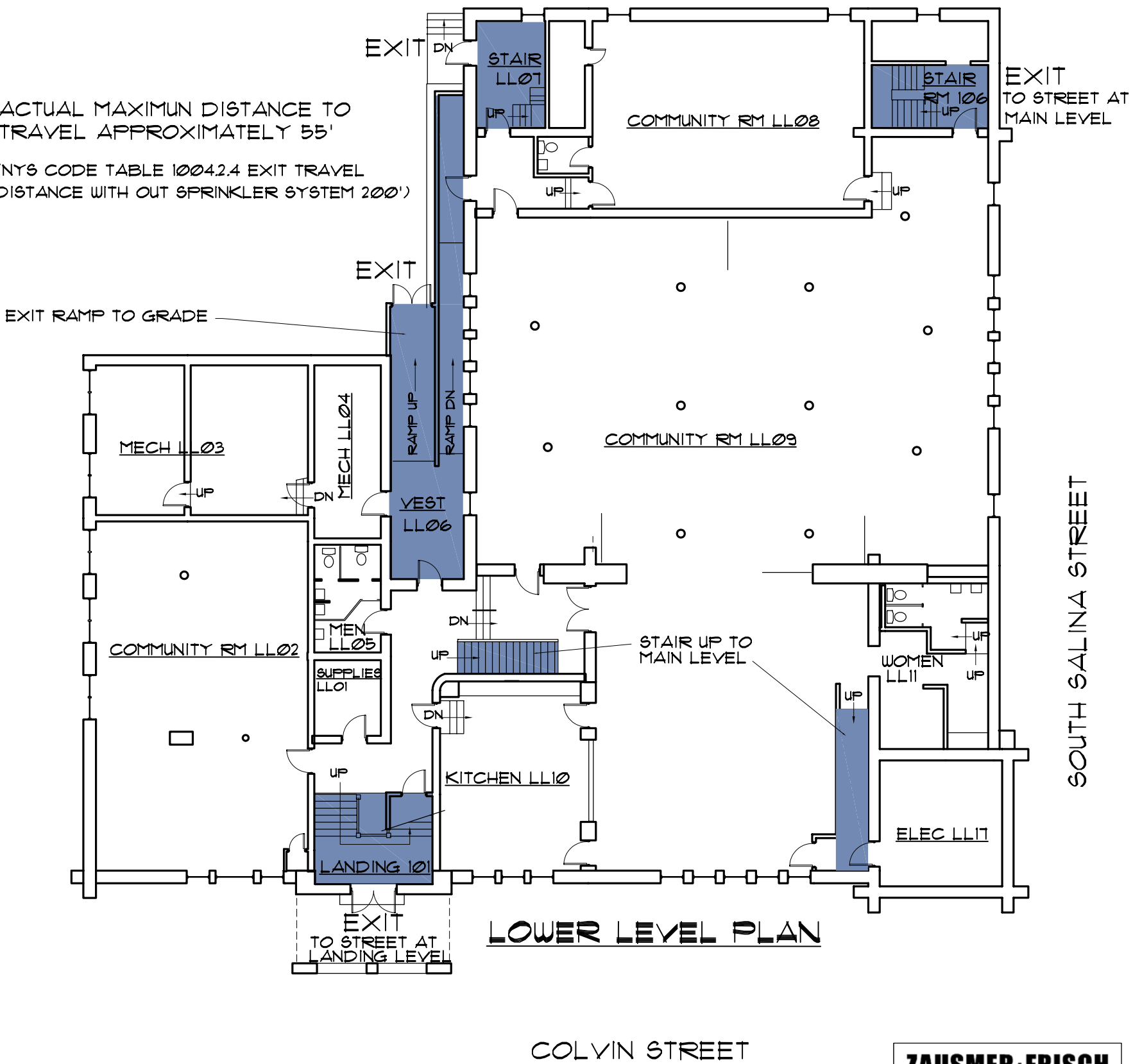
MEZZANINE/SECOND FLOOR PLAN

FIXED SEATING  
APPROX 166 SEATS

COLVIN STREET

MEANS OF EGRESS

ACTUAL MAXIMUM DISTANCE TO TRAVEL APPROXIMATELY 55'  
(NYS CODE TABLE 1004.2.4 EXIT TRAVEL DISTANCE WITH OUT SPRINKLER SYSTEM 200')

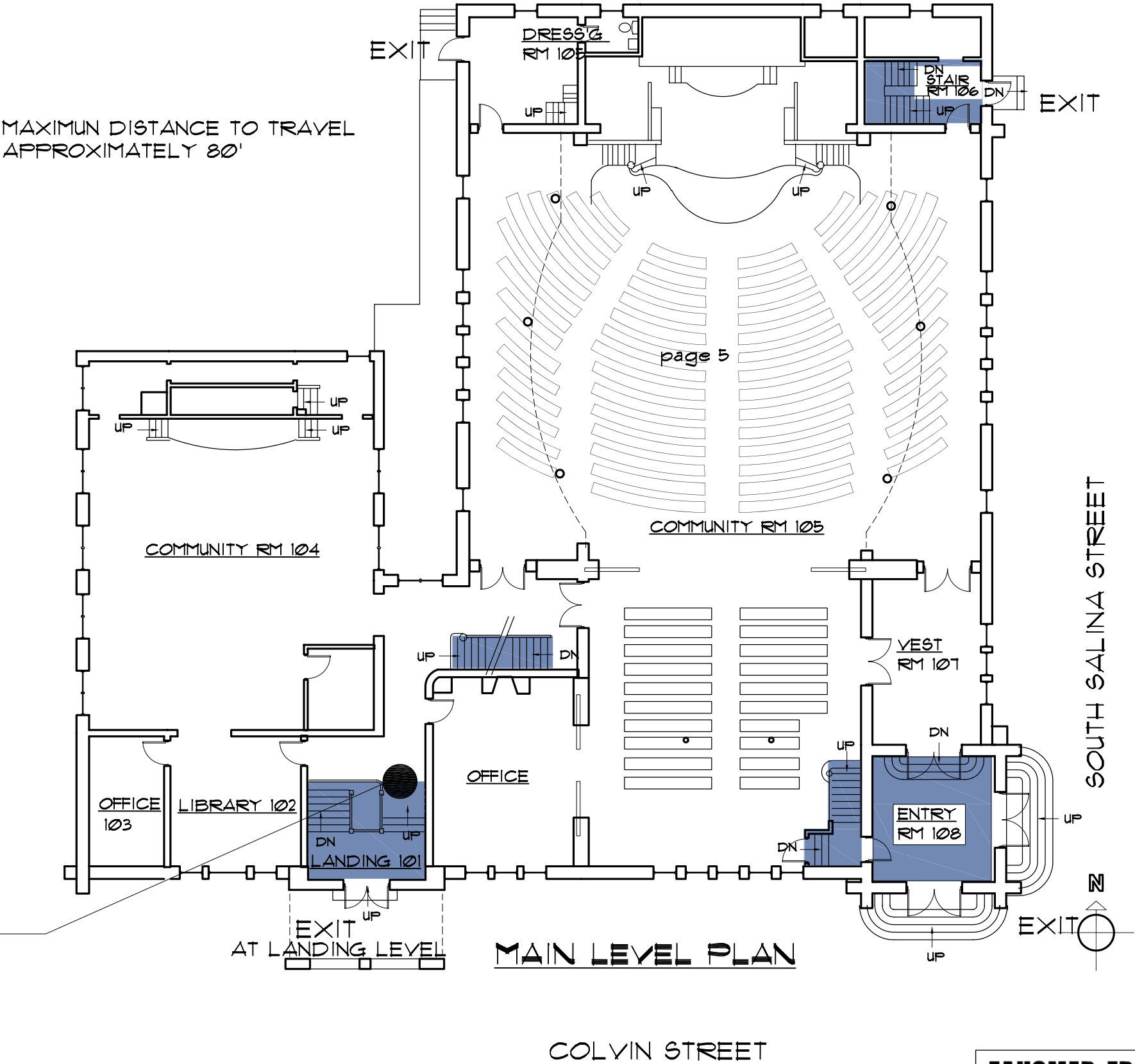


LOWER LEVEL PLAN

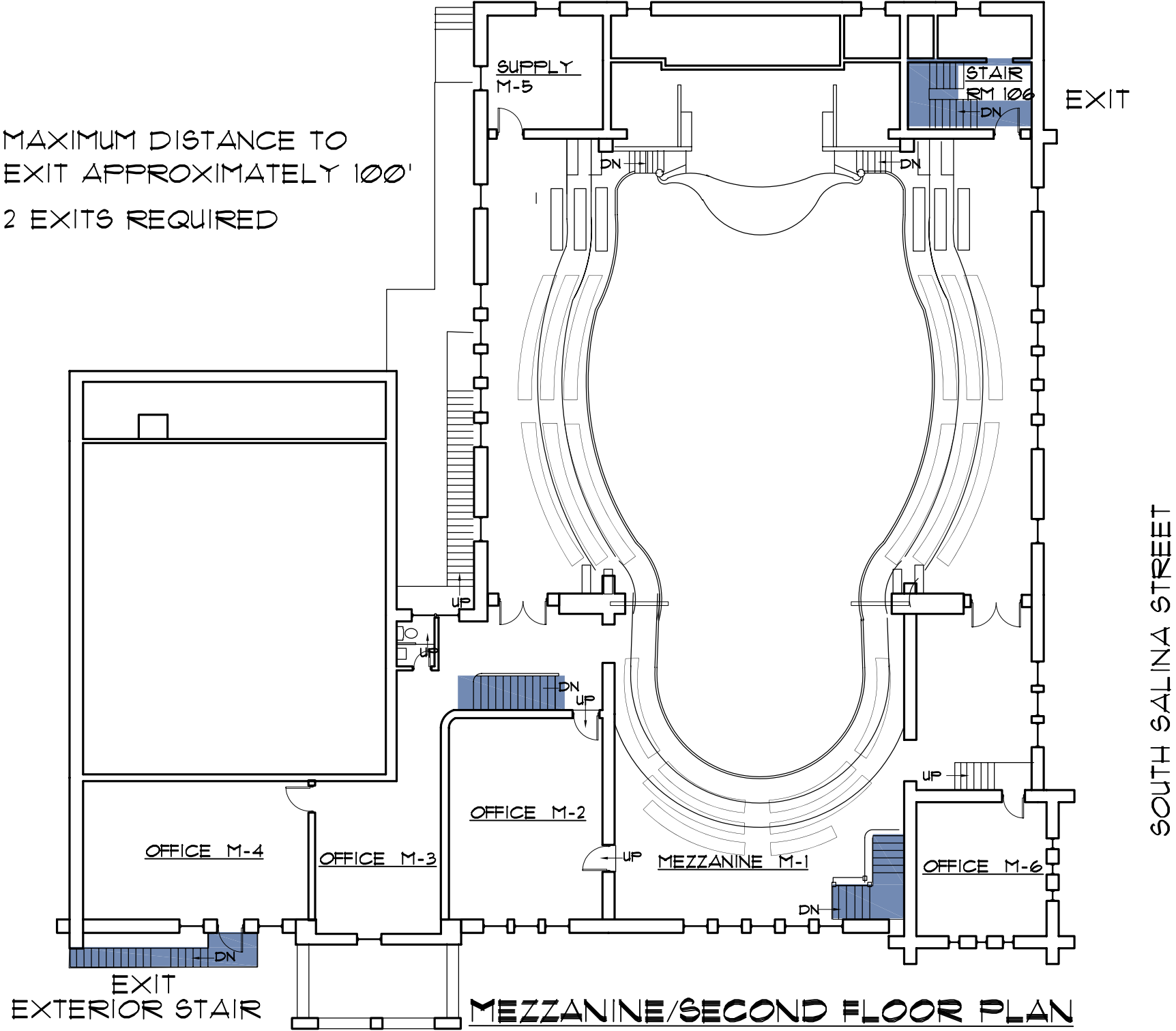
MEANS OF EGRESS



STAIR CLIMBER CHAIR  
TO LOWER LEVEL & MAIN LEVEL  
FROM STAIR ENTRY LANDING

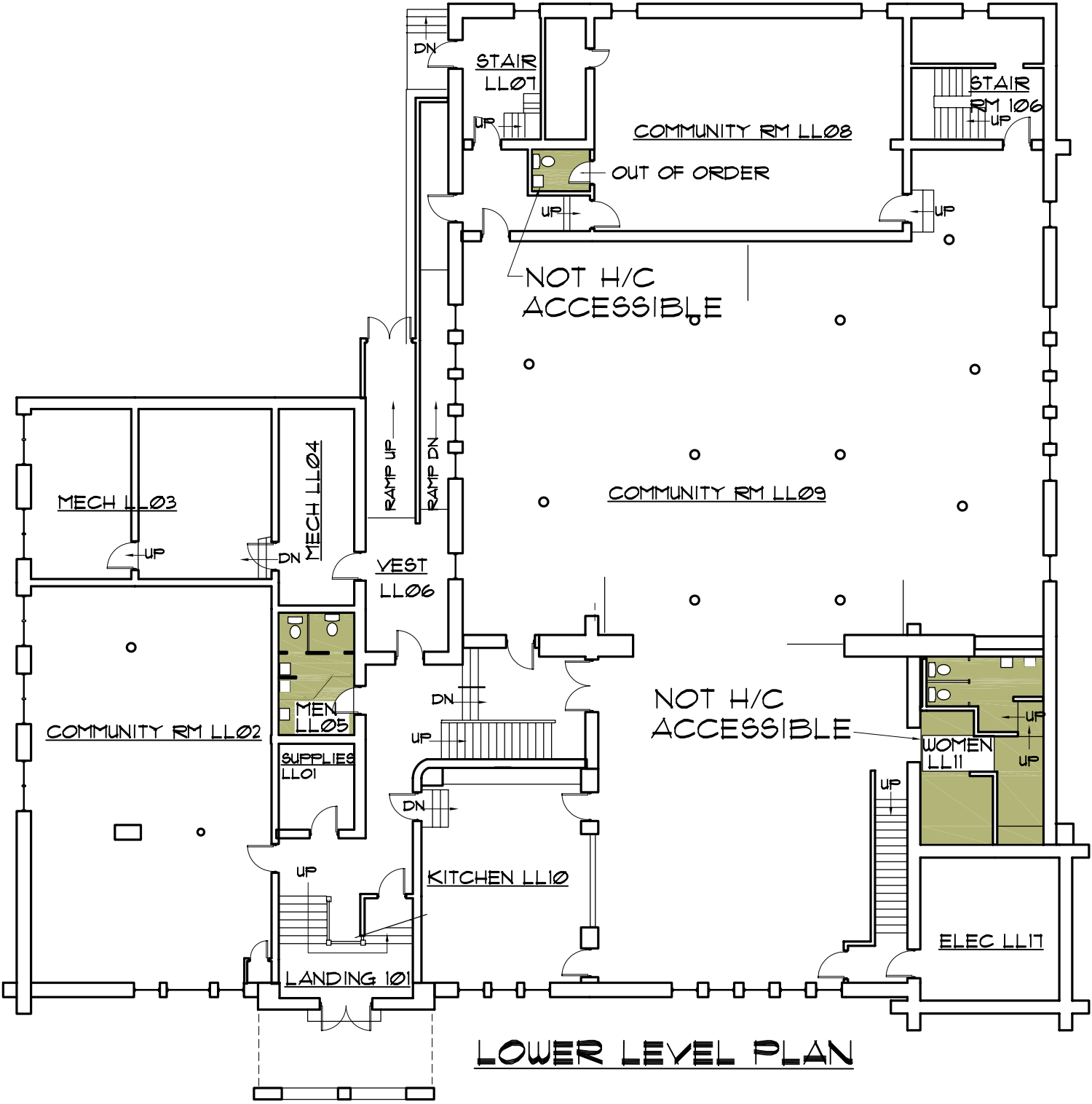


MEANS OF EGRESS



COLVIN STREET

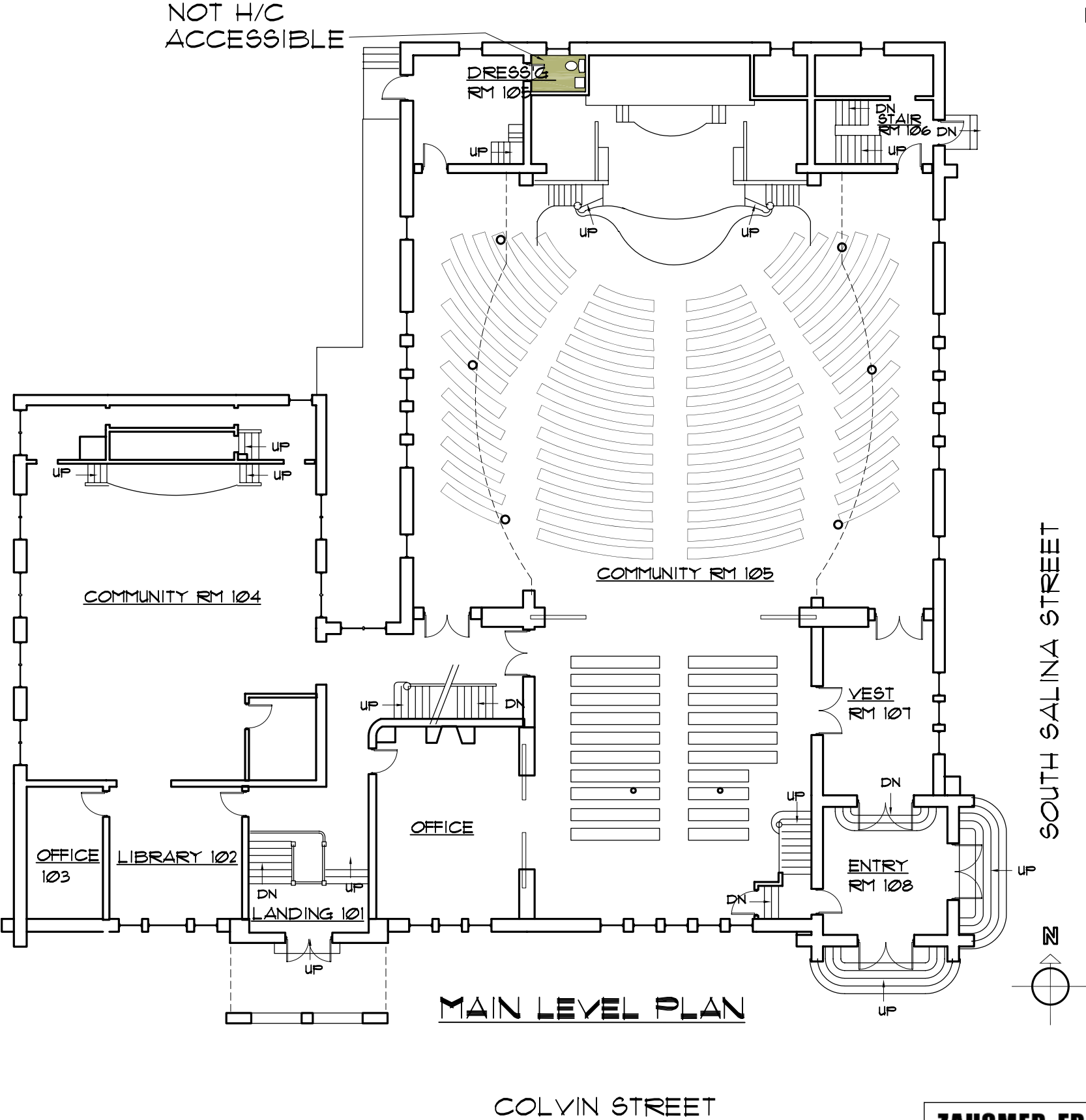
TOILET FACILITIES



LOWER LEVEL PLAN

COLVIN STREET

# TOILET FACILITIES

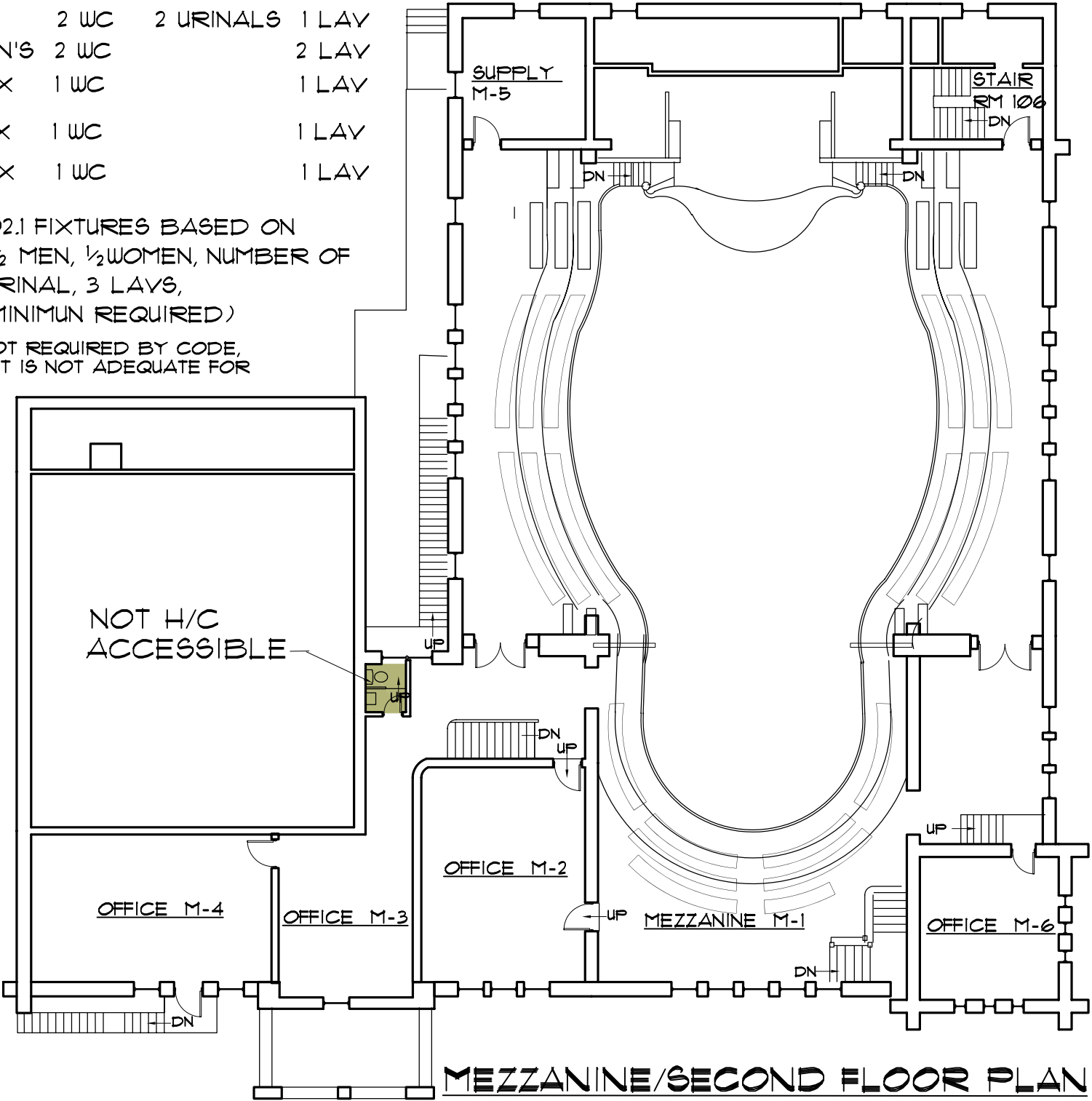


TOILET FACILITIES

LOWER LEVEL --	1 MEN'S	2 WC	2 URINALS	1 LAY
	1 WOMEN'S	2 WC		2 LAY
	1 UNISEX	1 WC		1 LAY
MAIN LEVEL	1 UNISEX	1 WC		1 LAY
MEZZ LEVEL	1 UNISEX	1 WC		1 LAY

(NYS CODE TABLE 2902.1 FIXTURES BASED ON  
OCCUPANCY OF 1,148 (½ MEN, ½ WOMEN, NUMBER OF  
FIXTURES MEN 4 WC, 1 URINAL, 3 LAYS,  
WOMEN 9 WC, 3 LAYS MINIMUM REQUIRED)  
ADDITIONAL TOILETS ARE NOT REQUIRED BY CODE,  
PRACTICALLY FIXTURE COUNT IS NOT ADEQUATE FOR  
A FULL HOUSE CAPACITY.

TOILET FACILITIES



COLVIN STREET

SOUTH SALINA STREET





WATER DAMAGE AT BRICK ALONG GABLE STEPS

PHOTOGRAPHS OF  
DETERIORATED AND DAMAGED  
AREAS. PHOTOS ARE  
REPRESENTATIVE AND NOT  
INTENDED TO PORTRAY ALL  
AREAS OF DAMAGE.



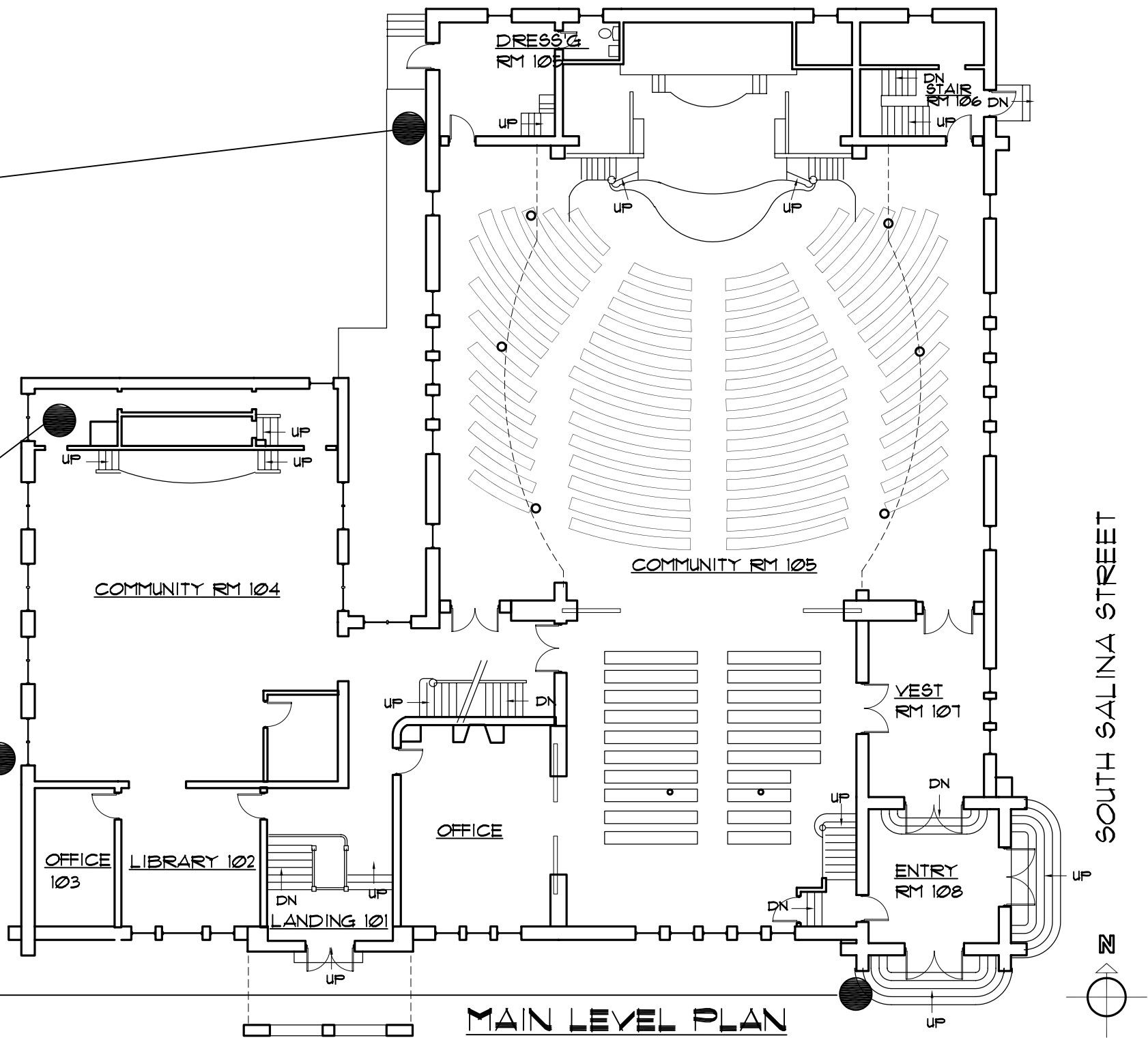
CLG & WALL WATER DAMAGE



SOFFITS & FASCIA DETERIORATED



STEPS UNLEVEL



MAIN LEVEL PLAN

COLVIN STREET

SOUTH SALINA STREET

LIGHT FIXTUE  
IN OPERABLE

CEILING MISSING



STAIR CLG

TREADS & LANDING  
NEED REPAIR



STAIR LOOKING DOWN FROM MEZZANINE

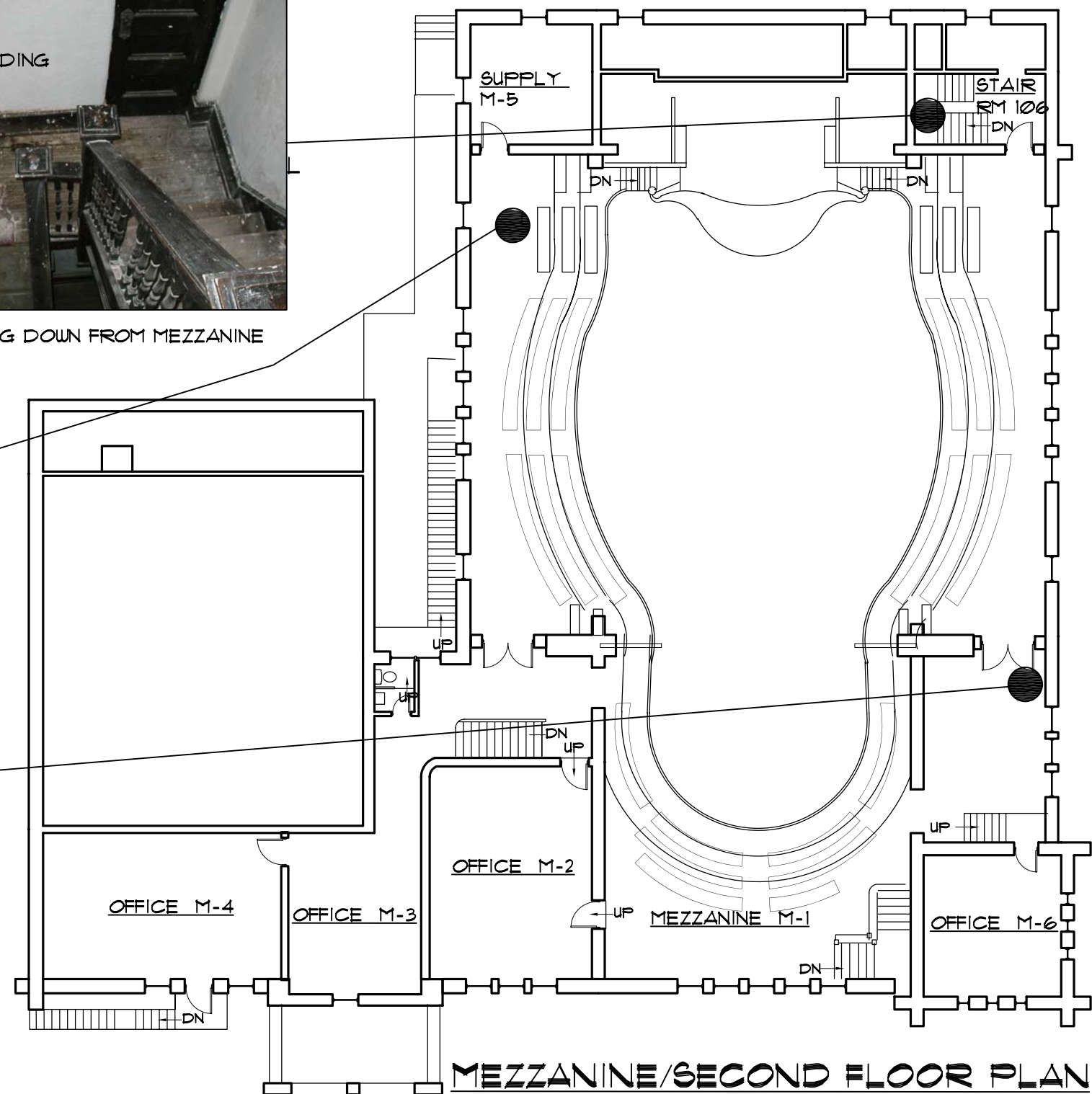
PHOTOGRAPHS OF  
DETERIORATED AND DAMAGED  
AREAS. PHOTOS ARE  
REPRESENTATIVE AND NOT  
INTENDED TO PORTRAY ALL  
AREAS OF DAMAGE.



WATER DAMAGE MAIN CEILING



WALL & CEILING @ MEZZANINE



DAMAGE IN PHOTOS DEPICTS WORST DAMAGE  
NOTED IN AREAS ABLE TO BE ACCESSED

COLVIN STREET

SOUTH SALINA STREET





1



2



3



4



5



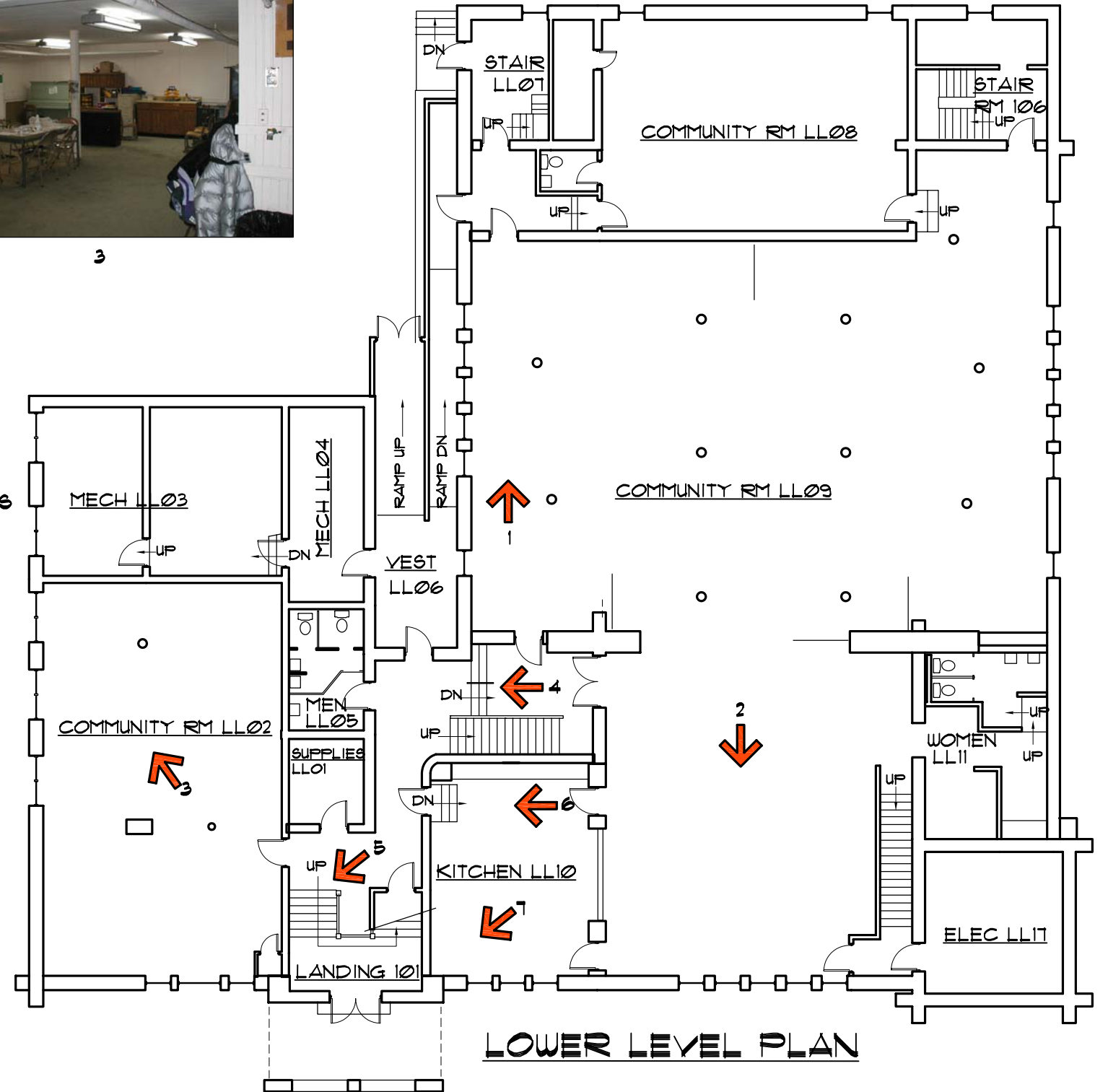
6



7

PHOTOGRAPHS  
EXISTING CONDITIONS

PHOTOGRAPHS  
EXISTING CONDITIONS



LOWER LEVEL PLAN

COLVIN STREET

SOUTH SALINA STREET



8



9



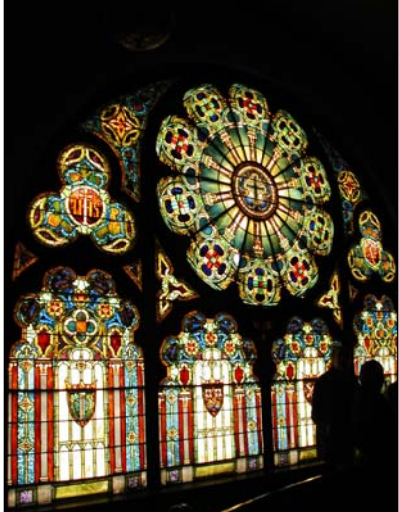
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11



12



13



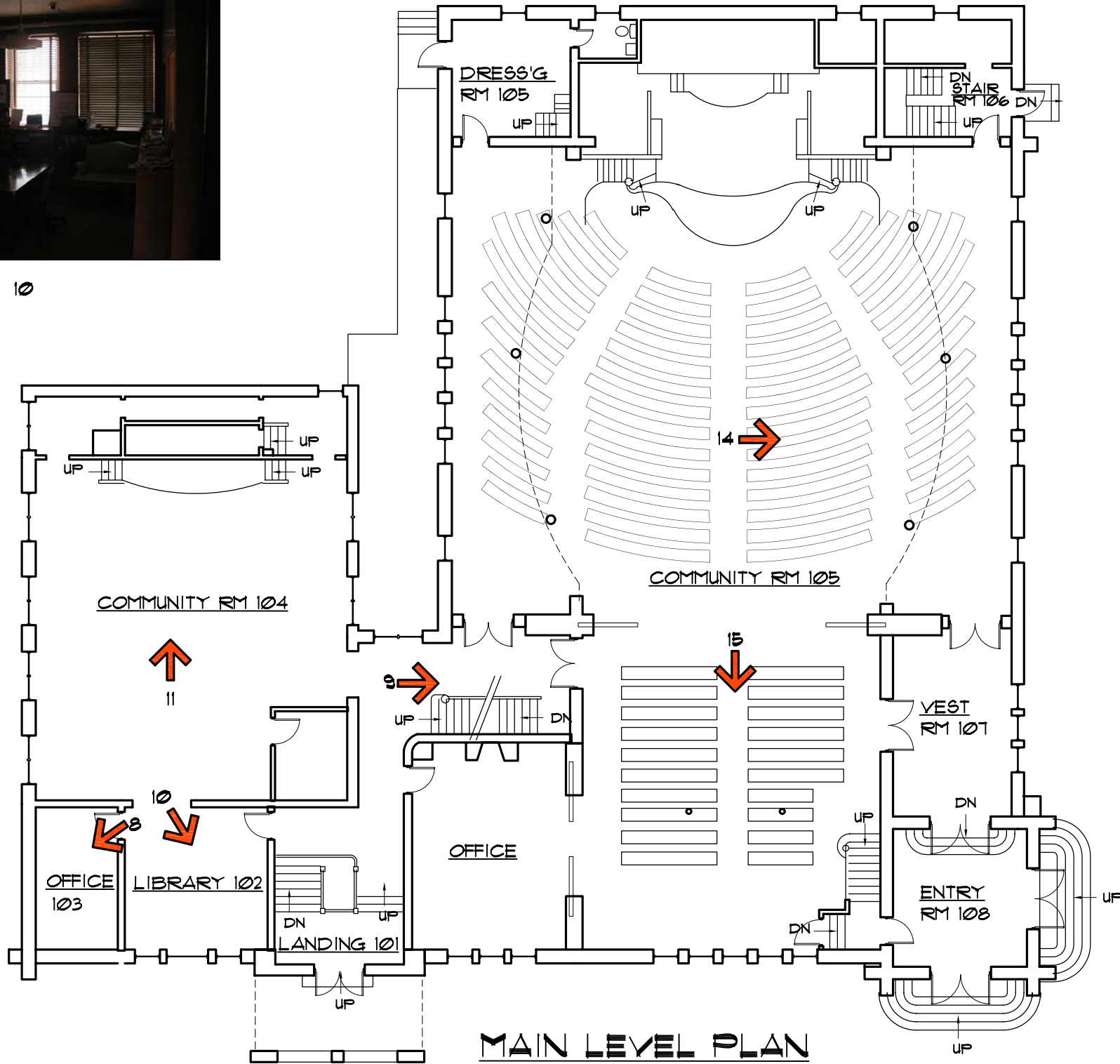
14



15



16  
CHANDELIER



MAIN LEVEL PLAN

PHOTOGRAPHS  
EXISTING CONDITIONS

COLVIN STREET

**ZAUSMER·FRISCH  
SCRUTON & AGGARWAL**  
DESIGNERS / BUILDERS





17



18



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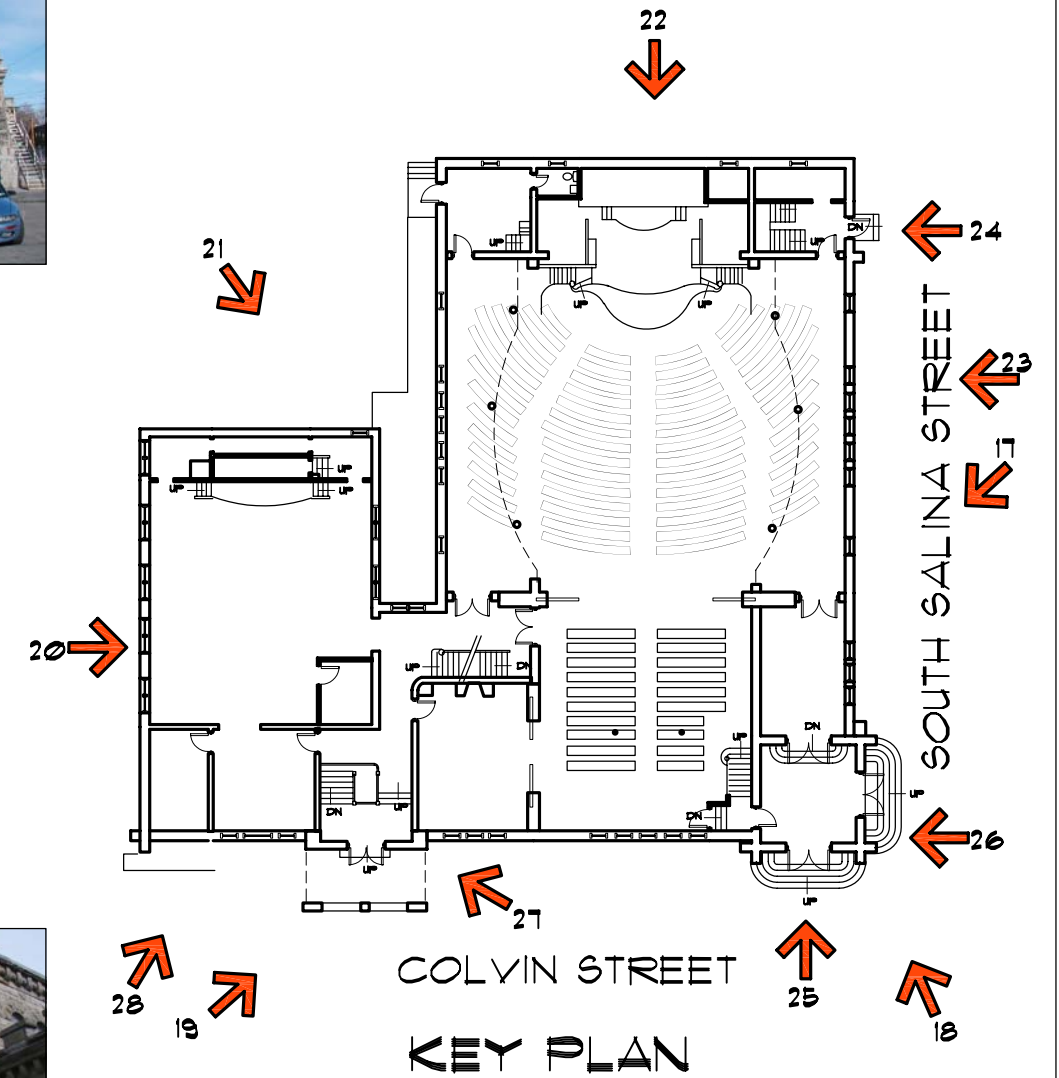
26



27



28



BUDGETS

ARCHITECTURAL REPAIR WORK/DEMOLITION/REMOVALS		
EXTERIOR SOFFITS-		\$37,200
BRICK CLEANING & REPOINTING-		\$35,000
ROOF (SEE ATTACHED ROOF REPORT)		\$265,000
MAIN CHURCH BUILDING ONLY		
ORIGINAL BUILDING ROOF		\$10,000
INTERIOR-		
REPAIR/REPLACE MISSING CEILING AREAS-		\$47,500
REPAIR/REPLACE MISSING WALL FINISH AREAS-		
REPAIR/REPLACE STAIR TREADS& LANDING STAIR-106		
PLUMBING		
REPAIR (REPLACE AS REQ'D) FIXTURES		
IN EACH TOILET ROOM TO WORKING ORDER		\$4,500
MECHANICAL (SEE ATTACHED HVAC REPORT)		
PROVIDE NEW HYAC SYSTEM		
MAIN LEVEL		\$120,000
LOWER LEVEL		\$94,000
COMMUNITY ROOM UP GRADES PER CODE		\$11,000
(KEEP EXISTING SYSTEM)		
BOILER REPLACEMENT		\$70,000
COMMERCIAL KITCHEN VENTILATION SYSTEM (IF REQ'D)		\$60,000
ELECTRICAL		
ADD EMERGENCY AND EXIT LIGHTING AT		
AUDITORIUM AREA		\$21,000
PROVIDE NEW 1200 AMP SERVICE		\$225,000
REPLACE EXISTING LIGHTING (EXCEPT CHANDELIERS)		

ARCHITECTURAL/ENGINEERING FEES OF 7% - 10% TO BE ADDED  
TO SCOPE OF WORK SELECTED.

BUDGETS DO NOT INCLUDE ANY ASBESTOS ABATEMENT WORK . BUDGET PRICING VALID FOR THREE MONTHS.

MAIN SANCTUARY STAINED GLASS WINDOWS--THE VALUE OF THESE WINDOWS  
IS UNKNOWN AT THIS TIME. FURTHER RESEARCH AND MARKETING IS REQUIRED  
TO DETERMINE THEIR REAL VALUE AND COST TO REPLACE. THEREFORE  
NO ADDED VALUE HAS BEEN ASSIGNED TO THIS REVIEW.



**KHH Building Envelope Systems**

A DIVISION OF KLEPPER, HAHN & HYATT



Report - Mr. Gary Zausmer  
Re: First Presbyterian Church of Syracuse

13 April 2005

Zausmer-Frisch  
219 Burnet Avenue  
Syracuse, NY 13203

Attn: Mr. Gary Zausmer, Principal

Re: Report of Roofing Conditions Found  
1st Presbyterian Church of Syracuse, NY  
KHH File No. 105037

Dear Gary:

We are pleased to submit this report of our preliminary review of roofing conditions found relating to the First Presbyterian Church of Syracuse, as the completion of our proposal to you.

**Issues**

Your request was for evaluation of external and internal roofing conditions for the low-sloped roofs on the above referenced building.

**Summary and Building Description** (outline chronology)

**Main Church**

1. Date of Construction: 1901-1906. (The addition to the rear (west) is believed to be older, and was the original church; it is apparently unoccupied at this time, and was not inspected.)
2. 21 April 1994 - date of report of roofing conditions by Associated Architects (Richard A. Wicks, Jr.) - he indicated the clay tile roofing was the original at that time, many leaks, flashing problems, and 11 items of repair totaling almost \$90,000. Clay tiles were only partially replaced as needed - 800 to 1000 new tile were estimated. From what was written on this report, I assume most, if not all, of this work was undertaken at that time. A copy of the report received is appended.
  - a. Other data, not received, indicates that roofing work was performed by Fred Tanner /28 King Street / Port Byron, NY 13140, and/or T&H Roofing, same address on or about 11/3/93. I further assume he assisted the Architect in the scope and costs of the report, and was subsequently awarded the work.
3. 4 April 2005 - On site roof evaluation by T. Nadel.
  - a. Persons at the church during my inspection:  
Ken Saya and J. Mattice - Commercial Roofing Co. - for cuts and repairs.  
Diana Turner for church access  
Reverend Beth DuBois - First Presbyterian Church of Syracuse

**GENERAL** - 64 photos taken in the field are appended on three pages as thumbnails.

1. Interiors - were inspected initially.
  - a. Areas of leakage primarily appear to be related to the lower valley areas of the central sloped clay-tiled roofs.
  - b. Partial collapse and temporary repairs are noted in the northeast [photo 0031] and southeast [photos 0033, 0034] corners. These areas were not inspected, as deemed too dangerous to walk on.
  - c. Other smaller leaksites are noted [0020, 0024].
  - d. There is a major active leak below the southwest corner, roof three [photos 0038, 0039]
  - e. There is a suspicious loss of ceiling, where a major chandelier hangs [0028, 0029].
2. Small, long, narrow roof between the main church to the east and the older building to the west.
  - a. Water is ponded [0040], and this area has a complex of sheds and cellar access [0062, 0063].
3. Low-sloped roofing review
  - a. Roof 1- porte cochere to the south
    - 1) Photos 0014, 0015, 0016, 0018.
    - 2) Roof drain at wall is promenade type - partially plugged [0014]
    - 3) Cut taken indicates from newest roof (EPDM + 3/4" insulation) on many older roofs - bottom roof is of coal-tar pitch on what appears to be the original tin metal roof. Total sample thickness to tin about 2 3/4".
    - 4) EPDM roof is improperly installed, against what is considered proper practice and good workmanship - seams are not fully sealed, not caulked, and open to water entry; no base securement appears to have been used. No metal counters were used at stone work.
  - b. Roof 2- to the southwest
    - 1) Photos 0041, 0042, 0043, 0044, 0045.
    - 2) Roof drain at corner is conventional type - partially plugged [0041]. Roof water is added from a north-side gutter [0044].
    - 3) Cut taken indicates from newest roof (EPDM + 1" insulation, which is WET) on many older roofs - bottom roof is of a BUR on perlite insulation on what appears to be the original resin paper on wood roof deck. Total sample thickness is about 3". [0045]
    - 4) EPDM roof is improperly installed, against what is considered proper practice and good workmanship - seams are not fully sealed [0042, 0043], and are likely to admit water. Seams not caulked; no base securement appears to have been used. No metal counters were used at stone work.
    - 5) Where the roofing goes to the clay tile roofing, the wall is EPDM covered for about 6' in height. There is no internal nailer, nailing, or securement noted. Below the clay tile, a metal drip/counter is noted [0044].

ROOF REPORT  
APRIL 2005

5795 Widewaters Parkway  
Syracuse, New York 13214-1862

Voice: 315.446.9201  
Fax: 315.446.9205

mailbox@khhpc.com  
www.khhpc.com

**ZAUSMER · FRISCH**  
**SCRUTON & AGGARWAL**  
DESIGNERS / BUILDERS

ROOF REPORT  
APRIL 2005



Report - Mr. Gary Zausmer  
Re: First Presbyterian Church of Syracuse

April 11, 2005  
Page 3

- c. Roof 2- to the southwest
- 1) Photos [0046, 0047, 0048, 0049, 0050, 0051, 0052, 0053, 0054, 0055, 0056, 0057, 0058, 0059, 0060, 0061]
  - 2) One central roof drain which appears to be functioning well, is of conventional type.
  - 3) Cut taken indicates from newest roof (EPDM + 1" insulation, is similar to the others. Total sample thickness is about 3". [0058]
  - 4) EPDM roof is similarly improperly installed, against what is considered proper practice and good workmanship - seams are not fully sealed [0051, 0052], and are likely to admit water. Seams not caulked; no base securement appears to have been used. No metal counters were used at stone work. [0056]
  - 5) Where the roofing goes to the clay tile roofing, the wall is EPDM covered for about 8" in height. Unlike the higher roof #2 there is no metal drip/counter flashing noted [0055].
  - 6) There are three brick chimneys within this area which all need repair/replacement in the near future [00564, 0055, 0056].
- d. Miscellaneous general items
- 1) A partial tile was furnished by the reverend. It is not labeled or imprinted to verify its source of manufacture. [0064]
  - 2) The stone copings mentioned as capped in the 1990's data are noted as simple shapes without the usual wood blocking, cleats and/or end closures [0008].
  - 3) Stone is aging, but in generally good condition. There are a few specific crack locations which will require attention (not sealants [0012]), and an overall repointing will be of value.
  - 4) Accurate dimensions are not known; there are no original drawings. The Architect's 1994 sketch was used for approximation, but is neither complete nor very accurate.

Comments

1. Clay tile roofs
- a. Roofs are, from the history, probably mostly the original roofs, 100+ years old, with the lower edges ("800 to 1000") tile replaced.
  - b. The new installation as installed does not permit reroofing below, without disturbing the new tile. (Whether or not the added tile are properly underlaid or flashed is unknown; the leaks suggest they are not.)
  - c. Since there are some leaks (possibly old stains, possibly new) in the upper tile reaches, and/or the new flashings/valleys. There may be upper tile problems as well.
  - d. In view of all of the above, you will be facing a complete tile replacement.
  - e. Budget cost, main building only = \$180,000  
(Assuming flat projected area of 6,000 sf, 12:12 slope, 10% waste, new copper flashings, new underlayments, no decking problems)
  - f. If this is the older original 100 yr old tile, it is likely that the underlayment paper used is deteriorated and non-functional.



Report - Mr. Gary Zausmer  
Re: First Presbyterian Church of Syracuse

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Page 4

2. Low sloped roofs
- a. Inventory: areas approximated
    - 1) 4 main roof corners 2,000 sf
    - 2) Porte cochere 240 sf
    - 3) Main roof tower 480 sf (condition unknown - unreachable)
    - 4) Low flat roofs near grade between new and older areas 620 sf±
  - b. Assuming replacements are needed for areas 1) + 2) + 3) above, total square footage is 2,960, say 3,000 square feet.
  - c. Each area will require its own virtual standalone setup
  - d. Suggested cost allowance 3,000 x \$25 \$75,000
  - e. Plumbing - 5 new drains and piping budget \$2,000 ea. \$10,000
3. Summary of costs
- |                         |           |
|-------------------------|-----------|
| Clay tile roof          | \$180,000 |
| Low sloped roofs        | \$ 85,000 |
| <u>Total: \$265,000</u> |           |
4. NOT INCLUDED
- a. Asbestos removals, if any
  - b. Structural corrections - major or minor, decking etc.
  - c. Stone masonry work (no estimate possible without a scope of work)
  - d. Windows, doors
  - e. Interior finishes
  - f. Old West building, and the low connecting link
5. Actual costs will be determined by the final design, and scope of work for the above items actually set.

- END PRELIMINARY REPORT -

Gary, I trust the above is the information you require; if you have any questions about this preliminary report, please do not hesitate to call.

Sincerely,

KLEPPER, HAHN & HYATT

Toby Nadel, A.I.A.

TN/tn

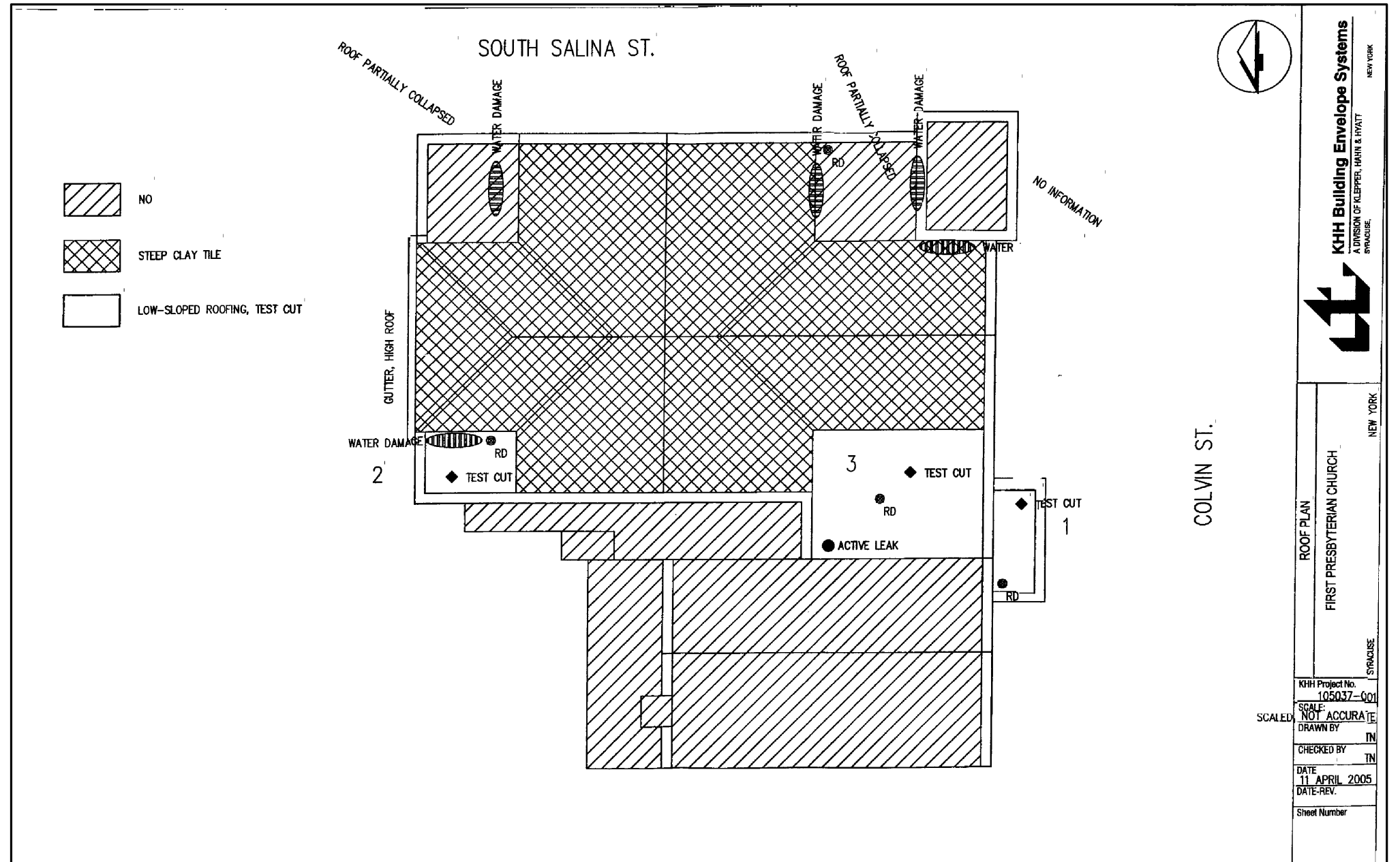
Enclosures - Roof plan, annotated, scaled from data received.  
Report by others  
3 pages thumbnail photos

P:\105037\REPORT 10537 ZF 1ST PRES CH.wpd

**ZAUSMER · FRISCH**  
**SCRUTON & AGGARWAL**  
DESIGNERS / BUILDERS

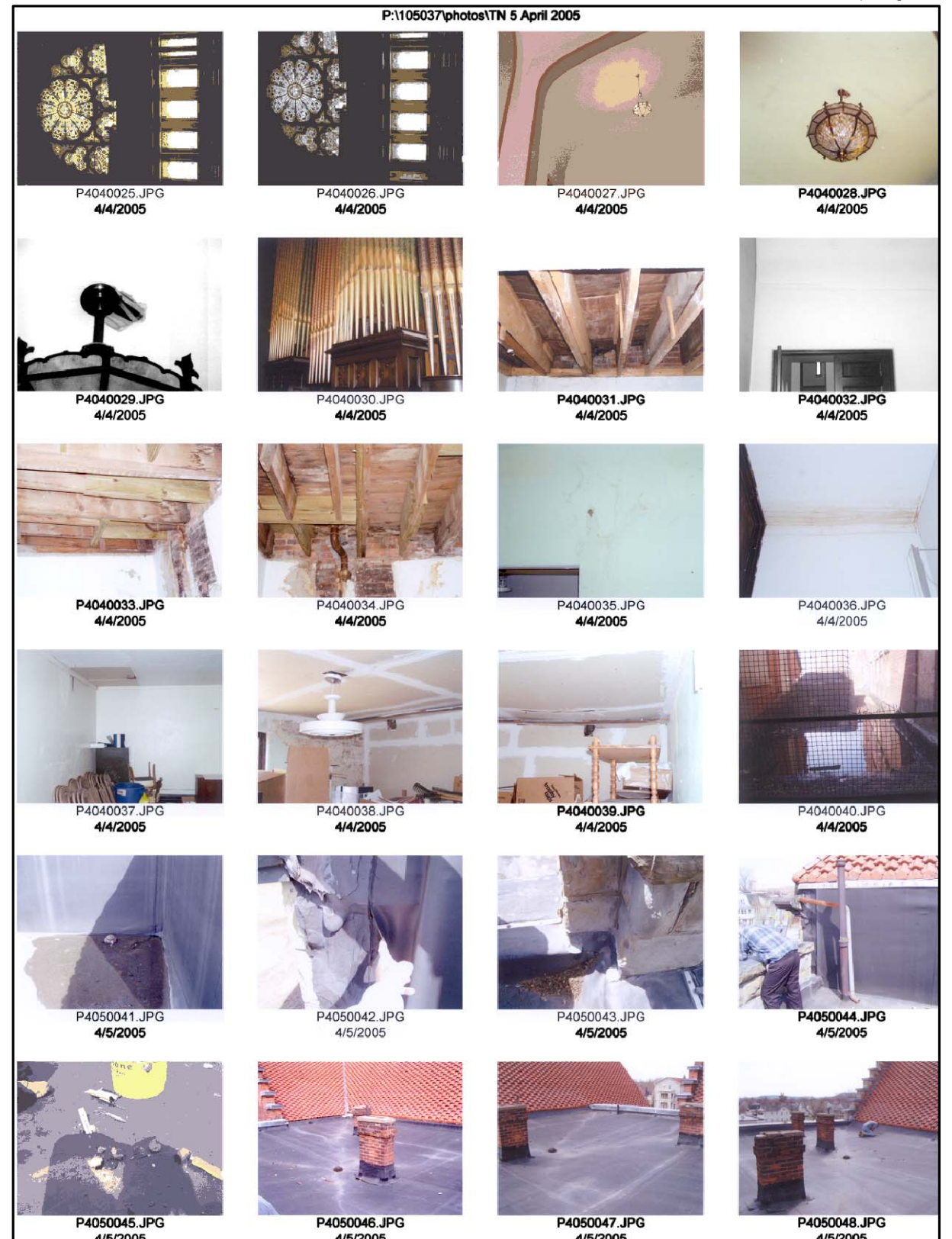
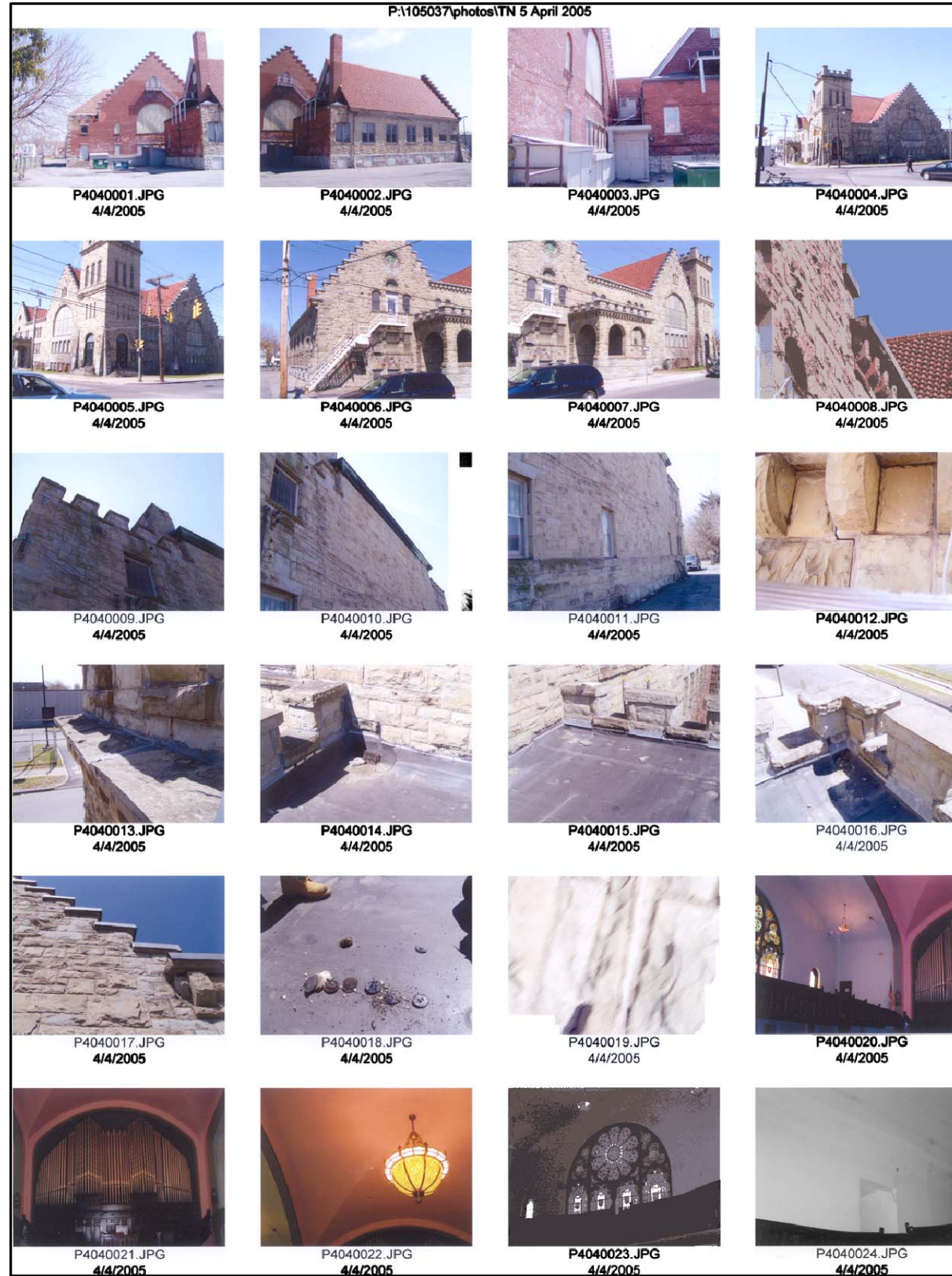


# ROOF REPORT APRIL 2005



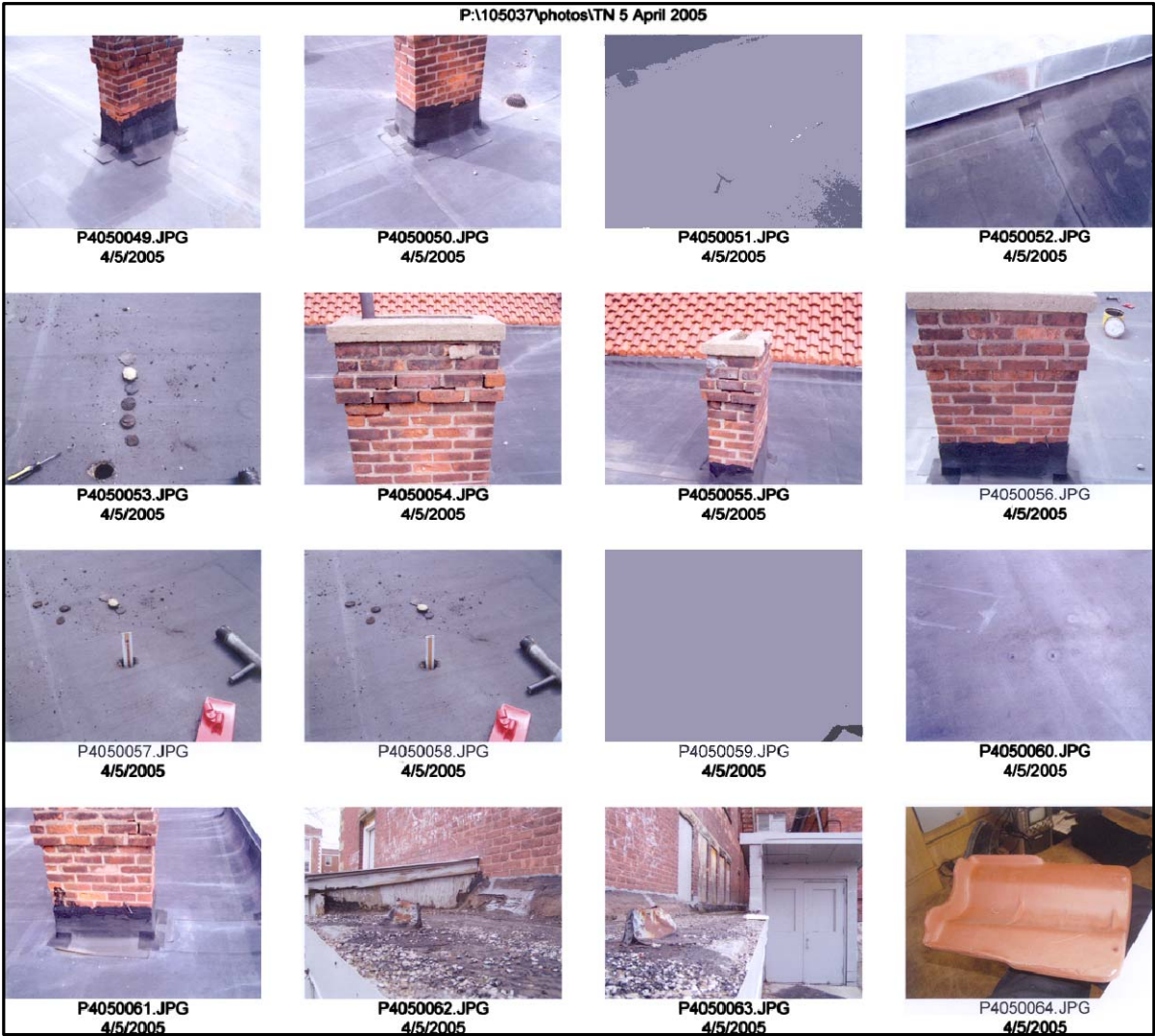


# ROOF REPORT APRIL 2005





ROOF REPORT  
APRIL 2005



*John W. Caldwell*

Associated Architects of Syracuse



Associated Architects of Syracuse

# ROOF REPORT 1994

SOUTH PRESBYTERIAN CHURCH

WEST COLVIN STREET & SOUTH SALINA STREET

SYRACUSE, NEW YORK 13205

## REPORT OF EXISTING ROOF CONDITIONS

AND

## RECOMMENDED REPAIR WORK

*Sumner  
Office Phone 731-2488  
474-2489*

*Not for  
use*

April 21, 1994

### Letter of Transmittal

Date: April 26, 1994

To: Mr. John W. Caldwell  
President of Trustees  
South Presbyterian Church  
323 Meadowbrook Drive  
Syracuse, New York 13210

Attn:

Re: South Presbyterian Church  
Roof Repairs & Recommendations

☒ we enclose

☐ we are sending under separate cover

The following are submitted:

- ☐ for your use
- ☐ for your approval
- ☐ at your request
- ☐ approved
- ☐ approved as noted
- ☐ for resubmission
- ☐ please return
- ☐ at the request of

(12) copies of Report of Existing Roof Conditions and Recommended Repair Work, dated 4/21/94, sent at your request.

By: Richard A. Wicks, Jr./m

528 Oak Street Syracuse, N.Y. 13203 (315) 474-6496

528 Oak Street 13203 (315) 474-6496

**ZAUSMER-FRISCH  
SCRUTON & AGGARWAL**  
DESIGNERS / BUILDERS

South Presbyterian Church Report  
Page (1)  
April 21, 1994

EXISTING CONDITIONS

1. Existing roof consists of red clay roofing tiles on all sloped roof surfaces and built-up membrane roofing on flat roof areas.

The clay tile roofing, including copper valley flashings and wall flashings, are the original roofing materials installed approximately eighty (80) years ago.

2. Roof leaks have been occurring for some time, now. There have been numerous roof repairs done over the years. Most of the repair work performed has been temporary.

Roofing tiles have been removed from non-visible locations (non-visible from ground level) and used to replace broken or missing tiles in other areas. Areas where tiles were removed have been patched over with tar and/or 90 lb. roll roofing.

Many broken, loose or missing tiles exist

3. Existing copper valley flashings and wall flashings are deteriorated to the extent that large holes exist.

The existing southeast valley flashing has been covered over with tar paper. The valley flashings have been patched a number of times with black roofing cement. This will cause moisture to become trapped under this substance and continue to add to the deterioration of the copper.

The metal splashway behind the tower at the southeast corner of the building is rotted and the wood roof boards below are taking on water.

4. The roof to wall flashings along the stone parapet walls are leaking.

The flashings concealed below the roof tiles are invisible to the eye, but it is apparent that leaking is occurring. Also, the limestone caps on the parapet walls have experienced shifting and movement due to expansion, contraction and freezing and thawing conditions over the years. The mortar joints have opened up, mortar has fallen out and this has allowed water to penetrate the stone and masonry walls. Water leaking into the capstones and masonry has worked behind the wall flashings and is causing deterioration to the flashings and spalling and deterioration to the masonry.

South Presbyterian Church Report  
Page (2)  
April 21, 1994

5. The flat roof surface over the Salina Street entrance is a modified roof membrane. The membrane is in need of total replacement in this area. The roofing material should be removed completely to the roof boards. New roof boards should be replaced where existing boards are decayed or rotted, and a new single ply rubber roof membrane and wall flashings should be installed.

6. The flat roof surface in the northwest corner of the building and wall flashings need replacement. The side walls above this roof are badly deteriorated and need to be stripped to the masonry. Water and moisture has worked under the wall flashings.

Recommend complete roofing and flashing removal and replacement with a new single ply rubber roof membrane and flashing. Also, new vented siding shall be installed on the wall surfaces.

7. There are areas of the roof edge above the flat roof surfaces where roof tiles are missing. These areas have been covered with tar and asphalt paper. Huge ice build-up is occurring along these roof edges causing more tiles to be broken. The asphalt and tar needs to be removed.

Replacement should be done with lead Kote copper panels installed at the roof edge with new clay roof tiles installed above the copper and reworked into the existing roof.

8. Flashing at existing skylight on north side of the building is totally deteriorated and has caused leaks in this area.

9. Existing attic space above the sanctuary. The main roof rafters appeared to be in good condition including the under side of the wood roof deck. Some wood support beams on the west side of the attic, at mid-span of the rafters, were bowed and some cracks were observed. The deteriorated or cracked beams shall be replaced. The end anchorage of these beams, at the brick walls needs repair.

ROOF REPORT  
1994

528 Oak Street    Syracuse N.Y 13203    (315) 474-6496    528 Oak Street    Syracuse N.Y 13203    (315) 474-6496

**ZAUSMER · FRISCH**  
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DESIGNERS / BUILDERS

South Presbyterian Church Report  
Page (3)  
April 21, 1994

Will do all  
1. Have to do  
2. Need to do  
3. Want to do

# RECOMMENDED REPAIR WORK

The following repair work is listed in order of recommended sequence and the location is shown on the enclosed roof plan, titled "Recommended Work".

The estimates are budget estimates only and have been arrived at through consultation with Fred Tanner Construction.

## REPAIR WORK

## APPROXIMATE COST

- 1a. Replace cracked and deteriorated wood beams in attic space and repair end bearing anchorage at brick wall. \$ 1,200.00 +/-
- 1b. Install new Lead Kote Copper valley flashing and install new clay roof tiles as needed over same.  
All old metal flashing and broken tile shall be removed. Replace all rotted or damaged roof boards.  
Northeast Valley \$ 6,000.00  
Northwest Valley 6,000.00  
Southeast Valley 8,000.00  
Southwest Valley 8,000.00
2. Install new Lead Kote Copper wall flashings. Approximately 300 lineal feet. \$12,600.00  
Remove all roof tile as needed. Remove old metal and install new Lead Kote Copper in flashing area and install new tile as needed. 29,200  
41,800
3. Install new flashing splashway behind tower. Remove old metal and tile. Install new Lead Kote Copper and new clay tile as needed. \$ 4,850.00  
46,650
4. Existing limestone capstones shall be covered with Lead Kote Copper. Copper shall be fitted over each stone with surface pitched so that water will drain off the top of the stones. All copper joints to be soldered. Approximately 102 capstones. \$12,750.00  
17,600  
44,800  
59,400

South Presbyterian Church Report  
Page (4)  
April 21, 1994

5. Replace all broken and missing clay tiles where needed. This includes field tile, end tiles, ridge tiles, etc. \$ 6,500.00

New tiles to match existing. Estimate of 800 to 1,000 tiles required.

6. Remove old roofing paper and tarred tiles along roof eaves. Install new Lead Kote Copper along the roof edge and install new clay tile over same. \$ 6,500.00  
13,000

7. Install new premade copper gutter at northeast corner of building. \$ 1,250.00

8. Remove existing skylight at north side of building. Install new roof boards at opening and roof over with new clay tile to match existing roof. \$ 2,650.00

9. Flat roof at southeast corner near tower. Remove existing membrane roofing and flashing. Install 1" thick rigid insulation board and single ply EPDM totally adhered roof membrane and flashing. \$ 3,500.00

10. Flat roof at northwest corner of building. Same as #9 above, except install vented metal siding at masonry walls below tile roof edge. \$ 2,450.00

11. Flat roofs at West Colvin Street entrance. Same as #9 above. \$ 7,350.00  
17,200

The above items of work are recommended in order to bring the existing building roof into new condition with the same aesthetic appearance and character originally designed. 30,200

Upon completion of each new roof area, we recommend that a regular inspection and maintenance program be established to maintain the roof in good condition.

If you have any questions in regard to the above information, please call accordingly. If you desire, Associated Architects of Syracuse would like to assist you in the preparation of construction documents for the future roof repair work.

Submitted by:

Richard A. Wicks, Jr.  
Architect

RAW/m

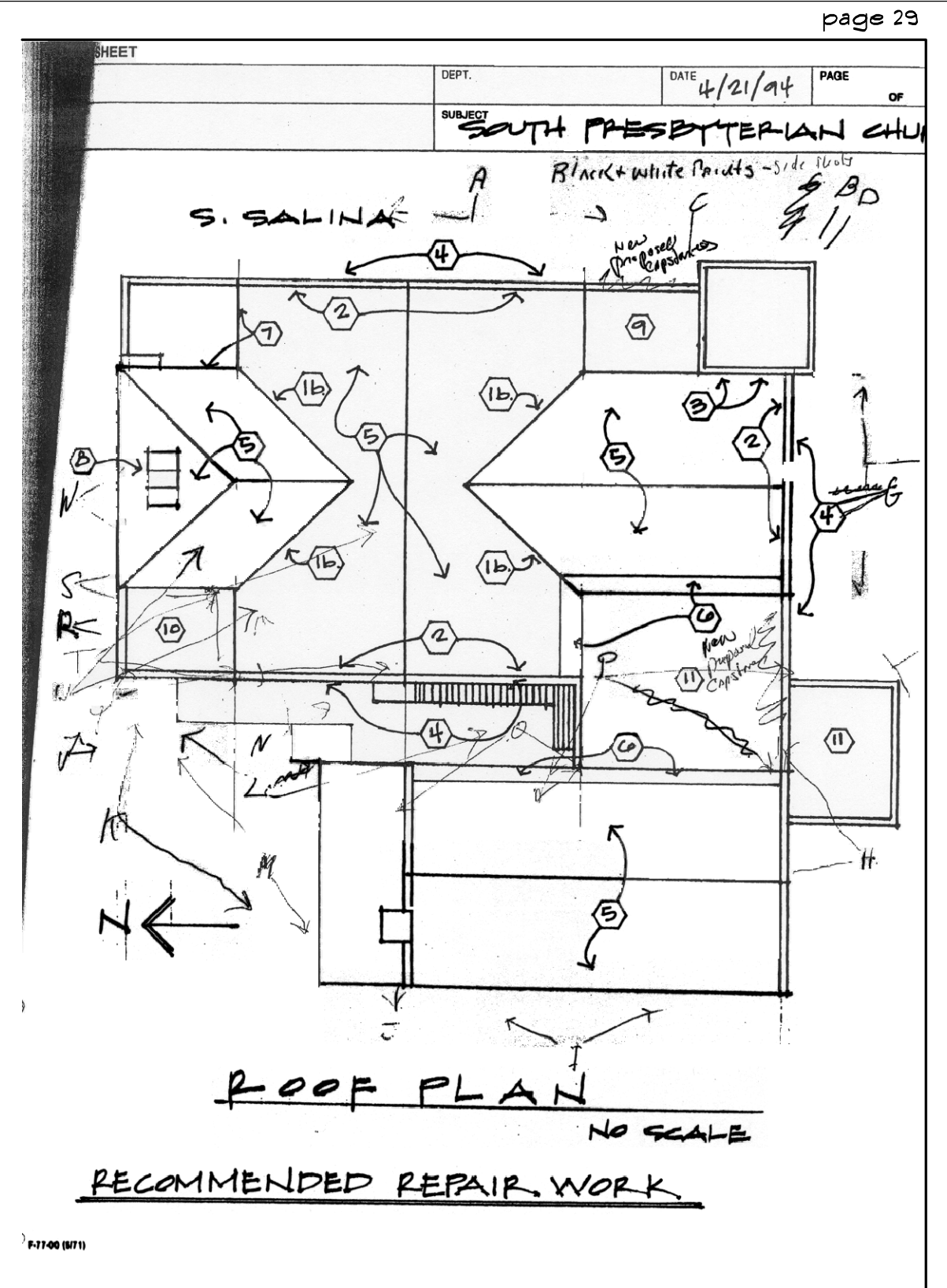
59,400 46,800  
13,000 13,000  
17,200 17,200  
89,600 77,000  
+ Architects Fees possible

# ROOF REPORT 1994

528 Oak Street Syracuse, N.Y. 13203 (315) 474-6496 528 Oak Street Syracuse N.Y. 13203 (315) 474-6496

**ZAUSMER-FRISCH  
SCRUTON & AGGARWAL**  
DESIGNERS / BUILDERS

# ROOF REPORT 1994



ROOF REPORT  
APRIL 2005  
1901 BUILDING



**KHH Building Envelope Systems**

A DIVISION OF KLEPPER, HAHN & HYATT

22 April 2005

Zausmer-Frisch  
219 Burnet Avenue  
Syracuse, NY 13203

Attn: Mr. Gary Zausmer, Principal

Re: 1st Presbyterian Church of Syracuse, NY  
Report of Roofing Conditions Found - Addendum #1  
KHH No. 105037

Dear Gary:

We are pleased to submit this report addendum of our preliminary review of roofing conditions found relating to the First Presbyterian Church of Syracuse, as requested.

**Issues**

Your request was for evaluation of roofs found at the upper levels of the original (west) portions of the complex.

The roofing contractor, Commercial Roofing, took 12 photos labeled "SalinaChurch 001 through SalinaChurch 012". See photos attached. While there, he also measured the small lower roof areas.

**Comments**

1. Upper Roof Area, West Section, North Side - See Photos 002 and 012.

- a. There is a second floor roof area, hipped, covered with metal roofing, which, subsequently, was coated with "black stuff" (roofer).

1) Comments

- (a) My experience is that metal roofing, once coated, is non-repairable  
(b) Area appears to be about 8' x 50' = 400 square feet.  
(c) Height to lower edge - +20' estimated  
(d) Height to high point of roofing (North brick wall) - +23'

2. HVAC Unit Support System

- a. There is a platform above this metal roofing area; it was apparently constructed after the metal roofing was installed. There are 4 supports bolted to the outer North brick wall, with horizontal beams from the supports forming the platform of dimensional wood lumber.

5795 Widewaters Parkway  
Syracuse, New York 13214-1862

Voice: 315.446.9201  
Fax: 315.446.9205

mailbox@khpc.com  
www.khpc.com



Report - Mr. Gary Zausmer  
Re: First Presbyterian Church of Syracuse

April 11, 2005  
Page 2

1) Comments

- (a) Platform bottom appears to clear metal roof by about 1' at inner north brick wall.  
(b) Reroofing below will probably require platform removal, mechanical disconnects, etc., first.  
(c) Platform area estimated at 8' x 16' = 130 square feet.

3. Probably issues

- a. Coatings will probably need testing for contents.  
b. Interior conditions are unknown.  
c. Because metal was coated, prior leakage was likely.

4. Costs

- a. A new quality metal roofing can be installed for a budget of \$8,000

1) Add for special insulations, snow guards, drainages, etc.

- b. Add for structural work, if any  
c. Add for abatement work, if any  
d. Add for new mechanical systems, and related connective services.  
e. Without further study, and a preliminary design for the new occupancy, a structural check, mechanical evaluations, etc. one cannot give accurate answers. Estimates need inflation at this time for unknowns, and any budget will need contingencies for surprises during construction, and are highly recommended.

- END PRELIMINARY REPORT

Gary, I trust the above is the information you require. If you have any questions about this preliminary report, please do not hesitate to call.

Sincerely,

KLEPPER, HAHN & HYATT

Toby Nadel, A.I.A.

TN/tn

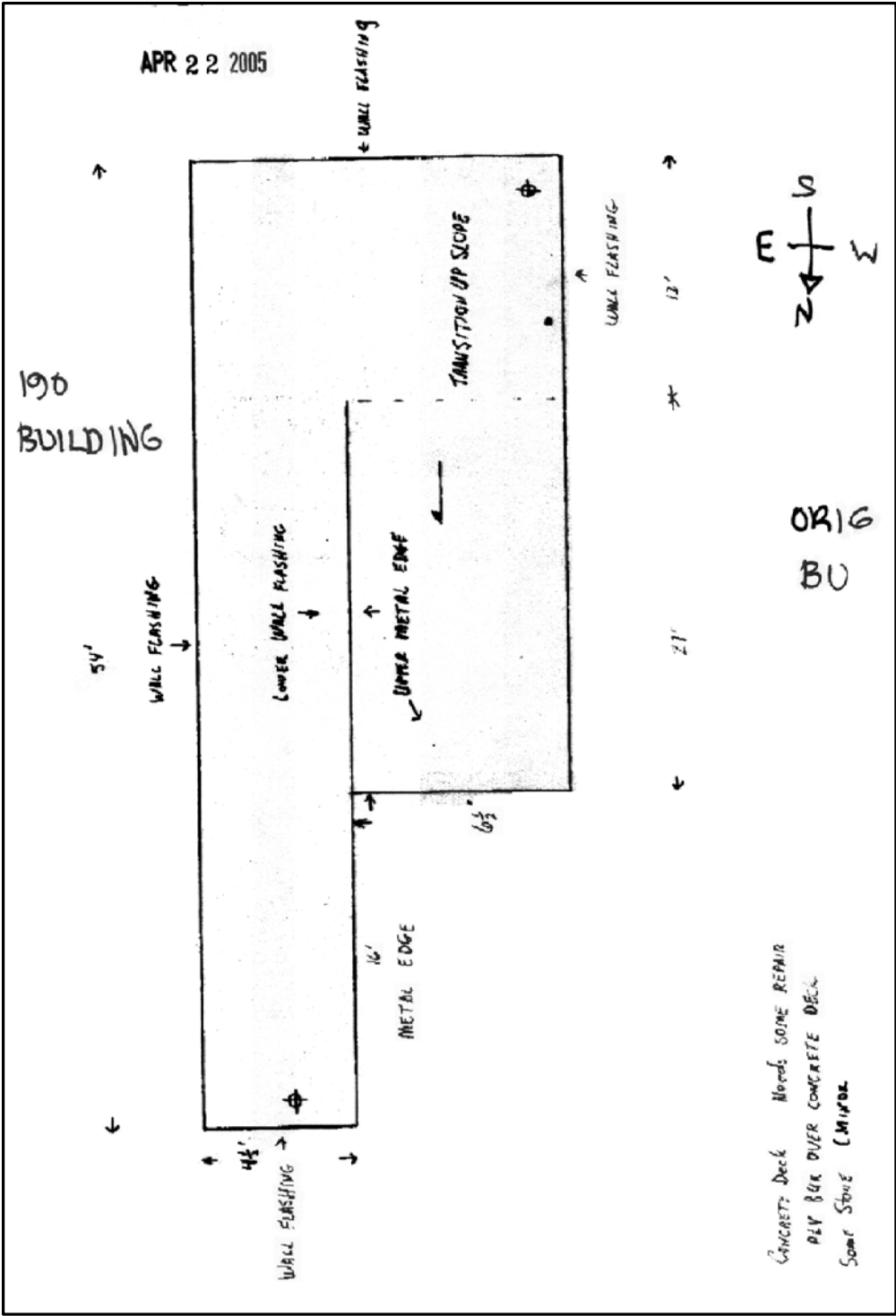
Enclosures

P:\105037\REPORT 10537 ZF 1ST PRES CH addendum1.wpd

**ZAUSMER · FRISCH**  
**SCRUTON & AGGARWAL**  
DESIGNERS / BUILDERS



ROOF REPORT  
APRIL 2005  
1901 BUILDING



April 14, 2005

220 Boss Road, Syracuse NY 13211  
Phone 315-414-0060  
Fax 315-414-0496

Century Heating

# HVAC Report

<b>To:</b>	Ray Scruton	<b>From:</b>	Dave Wildrick
<b>Company:</b>	Zausmer Frisch	<b>Pages:</b>	2
<b>Fax #:</b>	475-8470	<b>Date:</b>	4/14/2005
<b>Re:</b>	South Presbyterian Church	<b>CC:</b>	

During our walk through we observed the following:

The existing heating system is a hot water system with a boiler and radiation and terminal unit heaters.

The system has an old HB smith cast iron sectional boiler with a natural gas burner. The serial number on the burner seems to indicate that the boiler was manufactured in 1960. The loop pumps are series 60 B&G circulators. The system appears to be fully operational at this time. This type of heating system and technology is still used in current HVAC designs.

The Hot water radiation installed throughout the building appears to be in fair condition. There are numerous zone control valves and thermostats that appear to be in need of repair or replacement.

The original building's main floor HVAC system appears to have been upgraded within the last 20 or so years. There are two packaged rooftop air conditioning units that serve the area. This appears to be the only air conditioning system in the entire facility.

There are sidewall air outlets connected to ductwork that runs vertically up through the building. These appear to be part of an old exhaust system that we have seen in other buildings of this era. The exhaust system is assumed to be inoperable at this time. Access to the attic space was unavailable to further investigate how the vertical ducts terminate in the attic.

To convert this building to a community center there are a number of HVAC issues that need to be considered:

- Ventilation – The new community center will need to have an HVAC system that ventilates the facility to current codes and ASHRAE standards. There is no existing ventilation system that can be retrofitted to meet current standards in the building.

- Heating system – The boiler, pumps, and terminal units with moving parts have exceeded their normal life expectancy and should be replaced.
- Air conditioning – There is no means of mechanical cooling installed in the gathering areas.
- Mechanical space – Any new systems installed to provide ventilation and air conditioning will require mechanical space for new equipment. Soffit space and cutting or patching of existing walls will also be required to accommodate the installation of new duct systems.

Based on the information given above we offer the following budgets to provide new HVAC systems:

- Main Level HVAC - \$120,000.
- Lower level HVAC - \$94,000.
- Community Room upgrades – \$11,000
- Boiler replacement – \$70,000
- Commercial Kitchen ventilation systems - \$60,000 (if required)

Thank you for this opportunity to tour this beautiful old church. We would welcome the opportunity to work with you to transition the usage of this building.

Regards,

David M. Wildrick

HVAC REPORT

Decker & Bruce Electric, Inc.  
 22 Corporate Circle, Suite #3  
 East Syracuse, New York 13057  
 deckerandbruce@aol.com  
 Phone (315) 432-1835 Fax (315) 432-1836

April 15, 2005

Zausmer & Frisch Associates, Inc.  
 219 Burnet Avenue  
 Syracuse, New York 13203  
 Fax number: 475-8470

Attn: Gary Zausmer, Ray Scruton  
 Re: South Presbyterian Church

Gentlemen:

- A) Electrical Service
  - 1. 400-amp 120/240 volt single phase service
  - 2. Distribution:
    - a. A 200-amp fused switch that feeds the outside condensing units.
    - b. A 400-amp single-phase distribution panel Type SqID. It has three 100-amp two pole breakers, two 70-amp breakers, three 20-amp two pole breakers, one 50-amp two pole breaker and one 20-amp single pole breaker.
    - c. There are miscellaneous panels on the first and second floors that are push-a matic breakers. These panels are obsolete and it is expensive to buy new breakers for them. If they can be found.

This service should be upgraded to a three-phase service. Existing service is not only very old, but being single-phase and 400-amp it will not support a very large load of HVAC.

- B) Lighting through out basement, second floor and area's off of the Chapel are very old, obsolete and dim. New lighting is recommended.
- C) Outlets and switching through-out should be redone with new wire and devices. In most areas probably new piping would be required.
- D) Piping up to panels from distribution panels are primary rigid conduit in underground. The chance is very small that the old conductors could be moved and new feeders pulled in existing pipe. More than likely new panel feeders would have to be piped and pulled.

Sincerely,

Decker & Bruce Electric, Inc.  
*Charles Bruce*  
 Charles Bruce  
 President

CB/mr

# ELECTRICAL REPORT

**PHASE I  
ENVIRONMENTAL SITE ASSESSMENT  
South Presbyterian Church  
112 West Colvin Street, Syracuse, New York  
March 31, 2005**

**EXECUTIVE SUMMARY**

Strategic Environmental Management, Inc. (SEM) was retained by Zausmer, Frisch, Scruton, and Aggarwal Designers/Builders to conduct a Phase I Environmental Site Assessment (ESA) of the property located at 112 West Colvin Street (at South Salina Street) in the City of Syracuse, Onondaga County, New York. The Phase I ESA was undertaken in connection with a study being conducted by Zausmer, Frisch, Scruton, and Aggarwal to investigate the feasibility of converting the property to use as a community center by the Southside Interfaith Housing Corporation.

The ESA was conducted in general accordance with the American Society for Testing and Materials' (ASTM's) Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process (ASTM Practice E1527-00), published in July 2000 (initially published as ASTM Practice E1527-93 in June 1993).

The subject property is comprised of approximately 30,976 square feet of land area situated on the northwest corner of the intersection of West Colvin and South Salina Streets in the southern central portion of the City of Syracuse, Onondaga County, New York. The property consists of five (5) adjacent parcels. Two (2) of the parcels are presently developed with a three-story church building; the church parking lot is situated on the remaining three (3) parcels. The property is presently owned and occupied by South Presbyterian Church.

The three-story church building is the only existing structure on the subject property. It is situated on the two (2) east-most parcels. At the time of SEM's site reconnaissance, the subject property was utilized for church services and member meetings as well as after-school tutoring programs for neighborhood children. The remaining three (3) parcels comprise the paved parking lot for the church.

Onondaga County provides municipal water and sewer services to the site. As such, no operational water wells or septic systems exist on the subject property.

The subject property is equipped with a natural gas-fired boiler and a hot water radiant heating system. The present boiler is believed to have been converted from coal use into the present natural gas use.

The initial planning for development of the subject property reportedly occurred in 1903 when the South Presbyterian Church "board of trustees took action for the construction of a church edifice". However, according to the *South Presbyterian Church Centennial History*, construction of the church structure did not actually begin until 1906. A search of the public records at the Onondaga County Clerk's office in Syracuse, New York, and the

City of Syracuse Assessment Office did not produce the current or historic deed records for the property. The use and ownership of the property prior to 1903 remain unknown.

A review of the various federal and state environmental databases recommended by ASTM Standard Practice E1527-00 indicated that the subject property is not presently listed in any of these databases. However, the review revealed that the property is located within the ASTM-recommended search distances of 25 sites that were identified in some of these databases. Based on the proximity of these sites to the subject property and their regulatory status, these sites are not believed to present a significant threat to the subject property and its intended use. The findings of the review are provided in the attached report.

Based on the findings of the ESA, the following are presented/recommended for consideration:

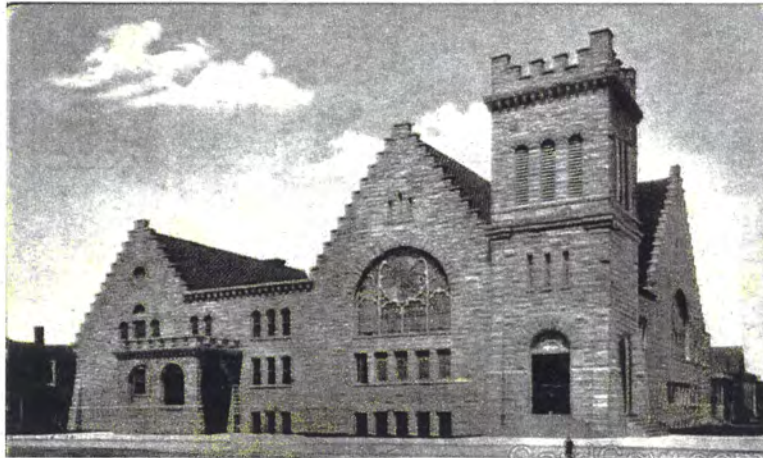
1. Suspected Asbestos-Containing Materials: Several materials observed throughout the facility are considered to be suspected asbestos-containing materials (ACM). Although the majority of the materials appeared to be in reasonably sound condition at the time of the March 22, 2005 site visit and may not warrant removal at this time, the disturbance of asbestos-containing materials during planned renovation activities would require provisions for proper handling, management, and disposal to minimize risk to construction workers and the general public. Such provisions may impact the means, cost, and timeframe of the renovation project and would be best addressed in the project planning phase. With this in mind, it is recommended that an asbestos building survey be completed by a New York State Department of Labor licensed asbestos building inspector to confirm the presence or absence of asbestos in the various building materials cited above. The survey results should be used to plan the handling and disposal of confirmed asbestos-containing materials during the renovation project.
2. Lead-Based Paint: The potential for lead to exist in the paint that has been applied to the various surfaces of the building should be considered and incorporated into any activities associated with repair, renovation, or demolition, or any activity that could result in the disturbance of the painted surfaces.
3. Overhead Fluorescent Lighting: The potential for mercury and PCBs to exist in the overhead fluorescent light constituents should be considered during renovation and future use planning. Proper characterization, handling, and disposal provisions should be followed if and when these lighting units are removed or replaced, and when the bulbs or ballasts are replaced.

The methodologies and findings of the ESA are described in greater detail in the following report.

EXECUTIVE SUMMARY  
FROM PHASE I  
ENVIRONMENTAL SITE  
ASSESSMENT



**CONDITIONS REPORT FOR THE BUILDING**



**South Presbyterian Church  
Syracuse, New York**

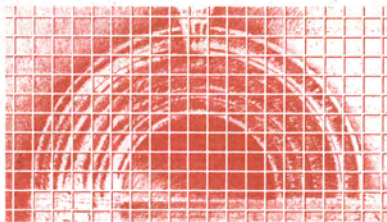
**PREPARED FOR:**

Greater Syracuse Land Bank  
431 E. Fayette St., Suite 375  
Syracuse, NY 13202

**PREPARED BY:**

Holmes King Kallquist & Associates, LLP, Architects  
Syracuse, New York

May 30th, 2017



**HOLMES • KING • KALLQUIST**  
& Associates, Architects

575 NORTH SALINA STREET, SYRACUSE, NY 13208

CONDITIONS REPORT FOR THE BUILDING

South Presbyterian Church

South Salina and Colvin St.

Syracuse, New York

May 30th, 2017

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- II. Brief description of the building
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- IV. Description of Bldg existing conditions & Recommendations  
– updated from Zausmer-Frisch 2005 report; inclusive of  
Century Htg 2005 ltr & Decker and Bruce Electric 2005 ltr.
- V. Bldg - Replacement & Rehabilitation Needs and Priorities  
[chart form]
- VI. Project Budget [without roof work]– updated from Zausmer-  
Frisch 2005 report

Appendix “A” - Annotated photographs

Appendix “B”– Bldg plans

## CONDITIONS REPORT FOR THE BUILDING

### South Presbyterian Church Syracuse, New York

May 30th, 2017

#### I. INTRODUCTION

The Greater Syracuse Land Bank is in the process of securing the property for redevelopment for this National-Register-listed Church in which the first phase will deal with the most urgent & immediate needs of the roof. This report was commissioned with the intent of identifying these needs and to begin to address them as well as an overall assessment and update of the 2005 report that was prepared by Zausmer, Frisch, Scruton & Aggarwal [the roof evaluation component of this 2005 report was prepared by Klepper Hahn & Hyatt Consulting Engineers].

We note that the National Park Service listed the building on the National Register of Historic Places on March 27th, 2017 [NYS 16PR07386 / NR 16NR00130].

This report update has been prepared by Dean A. Biancavilla, AIA, of Holmes King Kallquist & Associates, Architects, LLP (Syracuse, New York) and Bill Fuegel, P.E., of William Fuegel Engineering, PC., (Syracuse, New York) based on field visits for Feb. 22<sup>nd</sup>, May 3<sup>rd</sup>, and May 11<sup>th</sup>, 2017. Most of the building elements to be examined are mentioned in this report and covered in several labeled photos included in an Appendix.

This scope of investigation involves the following:

- ! The concept of Building Repairs – areas in need of evaluation include areas of roof leaks and damage to plaster surfaces and wood substrates and any other damaged areas. The replacement of damaged-beyond-repair elements and repair scopes are to be formulated based on compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties since redevelopment of this property may involve grants or historic preservation tax credits because of its listing on the National Register of Historic Places.

#### II. GENERAL BUILDING DESCRIPTION - the following is a good description of the resource prepared with excerpts from the National Register nomination:

*“The South Presbyterian Church is located on a large lot at northwest corner of South Salina and West Colvin Streets in Syracuse, New York. The lot includes the original rectangular mid-block lot on West Colvin Street that contained the first chapel and the larger adjacent corner lot purchased later. These lots were combined in 1905 for the construction of the existing church. An aerial view of the building clearly shows how the pre-existing chapel was incorporated into the new design when the lots were joined.*

*South Salina Street is U.S. Route 11, the primary north-south route in the region before the completion of Interstate I-81. South Salina Street is still a major artery for traffic between the Southside and downtown Syracuse. Thus, until the opening of the I-81 highway in the early 1960s, the church was passed by almost everyone entering the city from the south, whether heading to the downtown area or passing through the city to travel further north.*

*South Salina Street was both the formal and actual dividing street between the city's east and west. Colvin Street, which runs east-west, is one of the few major arteries on the Southside that nearly completely traverses the south side from east to west. At South Salina Street, Colvin jogs slightly to the north when heading east, so that the corner on which South Presbyterian is located projects beyond the expected street line to be fully visible when approached from East Colvin Street. A description of the time described the site as "unquestionably the best corner lot in the southern part of the city. East Colvin Street, by reason of a jog in the street, opens directly opposite the lot."1*

*South Presbyterian Church is a large two-story, L-shaped masonry structure of brick with a stone foundation and Genesee Valley bluestone facing on the east, west and south elevations. A square tower imbedded into the cross-gable plan of the structure marks the building's important corner site. Tall gable ends with large windows face each of the main streets: South Salina (east elevation) and West Colvin (south elevation). The church is built almost to the lot line on the east and south sides. A shallow landscaped strip of property separates the sidewalk from the building. An expansive parking area to the west and north of the church building is part of the lot.*

*The ground plan of the church can be seen as two unequal joined rectangles, with their longest side facing West Colvin Street. Aerial views show a different configuration. The sanctuary wing, on the corner of South Salina and West Colvin Streets, is oriented south to north, and is built on a cross-gable plan with the main sanctuary situated where the roofs meet. The aerial view shows this main section of the building as a cruciform plan, but on the ground, the cross has been squared.*

*The spaces between the arms of the cross are filled with subsidiary building parts, so the church appears a single mass from the street. The square tower is tucked between the east and south arms of the cross; square offices and robing rooms are tucked on either side of the north arm; and a larger entry way and transitional space is built facing West Colvin Street, between the west and south arms. The structure includes stairs that link to the large half-basement and to upper levels adjacent to the sanctuary, the classroom above the entryway, and the former chapel building, which continues to house a large chapel space as well offices and classrooms. Each arm of the sanctuary wing ends in a large stepped gable filled with windows. The two principal sides of the church face the major streets and present monumental facades.*

*To the west of the sanctuary were ancillary spaces that could be entered from West Colvin Street, where an entrance is marked by an impressive stone porte-cochere. Inside this entrance, steps lead down to a large half basement area, or up a half level to a vestibule area and access to office space, the chapel, and an internal wooden stairway leading upstairs to classrooms and meeting rooms as well as access to the sanctuary balcony from the west.*

### ***Exterior***

*South Presbyterian Church is brick construction over a stone foundation, with stone facing of Genesee Valley bluestone (also known as Warsaw blue limestone) rough-cut in different size rectangular blocks*



and tightly laid with thin mortar beds in an uneven pattern. Genesee Valley bluestone is frequently referred to as a limestone, but it is really a fine-grained, dark, blue-gray sandstone from near Portageville, quarried by the Genesee Valley Bluestone Co. at the time South Presbyterian Church was built.<sup>2</sup> The cornerstone is inscribed in raised lettering: "South Presbyterian Church, 1901-1906." The roof is covered with glazed red tiles. According to an early description of the church before it was completed, the roof was intended to be a slate, but the earliest photos of the church show the tile roof, suggesting that plans changed before the roof was completed.<sup>3</sup>

The South Salina Street elevation consists of a dominant gable wall with windows, slightly off center. This wall, the east wall of the sanctuary, is articulated with seven rectangular windows on the ground floor level; a large centrally placed arched window has a sill of that corresponds to the balcony level within and is flanked by two small windows and three small arched lancet windows with louvers higher in the gable at the attic level. The ground floor windows are a group of five immediately under the great arched window, and the group is flanked by similar single windows set at a slight distant on either side. These windows originally had colored glass panes, which have been removed.

The large arched window is filled with stone tracery including a central wheel window set over four vertical window sections, the upper edges of which terminate in scallop patterns. The great arch of this window is built of clearly articulated voussoirs, each of which project slightly from the plane of the exterior wall. The two flanking windows are each set apart and are aligned above the similarly separate rectangular windows on the level below. The masonry between the group of five ground floor rectangular windows and the sill of the great arched window is composed of six rows of square cut stone blocks, common in Romanesque buildings. At the top of the wall the gable is stepped, with each step terminated by a flat stone cap that slight overlaps the wall edge.

The South Salina Street wall continues toward the corner tower at Colvin Street. The short space between is a two-story elevation with three rectangular windows below and three arched windows aligned above. Between these levels is the same masonry of rows of squared blocks used between the other windows. The top of this wall and roof line is articulated with a horizontal course with rounded stone dentils.

The West Colvin Street elevation is nearly identical to South Salina Street. Here, the large gable wall abuts the tower on the east. At the top of the wall the gable is stepped, with each step terminated by a flat stone cap that slightly overlaps the wall edge. The three levels of gable wall windows are the same as before. The great arched window is the same as on the east (South Salina St.) except for a row of five basement windows at ground level. These are similar to the ground level windows and light the rooms below. The inclusion of the basement windows forced the raising of the level of the ground floor windows which correspond to a parlor/library room within, so the distance between the tops of these windows and the bottom of the great arch windows is less, and there is no use of distinctive masonry. To the west of the gable wall is a short continuation that fills the space between the new church and the original chapel. Here, as on South Salina Street, is the same arrangement of three rectangular windows and three arched windows; the wall between levels of windows is treated with rows of squared stones. To the west of this section of wall is the most distinctive element of the West Colvin street elevation. It prominently features a projecting porch in front of an entrance way. This has the form of a porte-cochere but, because it is situated on the sidewalk, it is designed for pedestrians rather than carriages or automobiles. The porch marks a ground level arched doorway that leads directly to the office, classroom and chapel space of the church, including interior staircases that lead to all levels. The porch

marks the separation point of the older and newer sections of the building, even though these have been integrated into a single design.

### **The Tower**

Positioned at the southeast corner of the building is a sixty-foot-tall, three-level square corner tower (West Colvin and South Salina Streets). At street level it serves as a main entrance. Arched doorways with raised voussoirs are on the south and east sides, each reached by a short flight of five steps from the sidewalk. Stone buttresses protrude from the three exposed corners of the tower. At their bases, these extend toward the street and narrow as they rise to the height of the tops of the doorway arches, where they join flush to the tower wall.

Inside, stairs lead to the second story vestibule area. Outside, this is articulated with three tall, narrow windows with short, flat lintels on the south and east sides, and doorways to the sanctuary balcony on the west and north. A third tower level, indicated on the exterior by horizontal corbels on the corners topped by a horizontal molding across the entire wall width, reaches above the roof line. Traditionally this space would have housed church bells. All four sides are articulated with three tall arched windows, filled with louvers. It is not clear whether this screened room ever held bells at South Presbyterian, or whether the space is symbolic or vestigial. The very top of the tower is articulated with a strong horizontal molding supported by stone round-edged dentils. Above this is a crenulated parapet wall.

### **Interior**

The sanctuary, which occupies the entire northeast section of the church, is an auditorium plan of one large open space with a wide front part at the north end and a narrower rear at the south end. Separate plaster cross vaults cover these spaces divided by a high wide arch. The rear, southern space is covered with a barrel vault, and in the front part, the center areas of the main sanctuary are surmounted by a plaster cross vault, while slightly flattened barrel vaults flank this space and cover the balconies. The sanctuary has fine woodwork throughout, almost all of which is intact and in good condition.

The balconies on three sides of the sanctuary are connected. This continuous structure abuts the inner walls and is supported by thin columns. The balcony extends around the entire sanctuary, except where the pulpit platform and large pipe organ fill the north side, with the dark mahogany panels taking on a sinuous ribbon-like form that visually ties the space together. Enclosed wooden stairways with solid wood sides are continuations of the balconies, connecting the pulpit platform to the balcony at the north. The balcony level slopes slightly toward the sanctuary center at the same grade as the floor of the sanctuary.

There is an evident rake to the sanctuary floor, which slopes from the rear northward toward the pulpit platform. The curved oak pews are arranged in semi-circular rows divided by a central aisle. The floor is partially carpeted, with runners in the aisles and carpet on the pulpit steps.

The pulpit platform is a stage-like structure that partially protrudes into the sanctuary space and partly recedes into the recessed northern sanctuary wall. The front of the platform is faced with wood similar to that of the balcony. Behind the pulpit platform, the lower part of the wall is covered with wood paneling. The upper part is filled with the large decorative pipes of the organ and entirely fills the space up to the curved moldings under the vault. The organ loft is directly behind the pulpit. The rear of the sanctuary opens via sliding original wood paneled doors on the west wall into a parlor area, which

*retains its original built-in bookcases and cabinets. One interesting feature is a dumbwaiter that can descend to the kitchen directly below in the basement.*

*The rest of the church interior consists of a basement beneath the sanctuary and a west chapel used as a community room (west side of building). Internal changes were made to the chapel in the 1960s (drop ceiling, carpeting and interior walls clad with plywood). Removal of portions of the drop ceiling and wall panels reveal extant historic fabric. The stair from the entrance to the door is original and features a wood panel balustrade at the upper landing, which opens into a hall with access to the parlor, sanctuary and chapel. The basement consists of a kitchen area with a pass-thru space in the wall separating it from a large, open dining area. The areas are utilitarian in nature and contain no outstanding historic features.*

### **Windows**

*The sanctuary originally had two tiers of art glass windows produced by Tiffany Studios. According to records, none were memorial windows and the church sold all but one of the windows in 2008 (small, rectangular window in the parlor). The Tiffany windows were almost entirely geometric, with the inclusion of few Christian symbols, including a cross and the abbreviation "HIS." There were no figures, narrative or landscape scenes of the type for which Tiffany was famous and no large panels. New stained glass windows have been installed to replace some of the larger missing windows. The remaining windows are clear glass.*

– the above text excerpted from the NR nomination.

[HKK note – there are currently some 45 stained glass windows yet to be installed as of May 22, 2017 by Tony Serviente Stained Glass Studios of Ithaca, NY. Phone: 607-277-7770 · Fax: 607-277-7771; <http://servienteglassstudios.com> ]

## **III. PROJECT PLANNING CONCERNS**

- A. Historic Status - This building has been listed on the National Register of Historic Places. All the proposed workscopes in this report are being set-up in compliance to the Secretary of the Interior's Standards for Treatment of Historic Properties which may be a requirement of any future grants or applications for historic preservation tax credits. In this way the proposed scopes would be sympathetic to the building's character and in accordance with established guidelines for repairs or replacements of areas of the building's features.
- B. In the event that State or Federal funding is applied for to underwrite the work of this proposed renovation project for this National Register listed property then it may be necessary to secure the pre-approval of the NYS Office of Parks, Recreation and Historic Preservation or the National Park Service for all proposed work before starting any repairs or rehabilitation.

We caution that it has been our firms' experience that if the appropriate approval procedures for state and federal grant funds or for historic preservation tax credits are not followed carefully the project funding or tax credits could be withdrawn. Consequently, it is important to identify and comply with all required reviews and program requirements in advance and to design the overall final project for compliance with the applicable standards for historic properties.

We can offer that the Main Sanctuary space in the 1905 Addition would be considered by SHPO and NPS as highly significant historically and together with the magnificent organ would make for a central feature of the building to be marked for retention and preservation. There would be only a small likelihood that SHPO or NPS would even consider a subdivision of this space for alternate uses.

- C. This report will not eliminate the need for more intensive preservation professional involvement with this proposed project or projects prior to the start of any construction; namely the preparation of construction documents stamped and signed by a licensed professional.
- D. The current situation with the replica stained glass windows is on hold until Tony Serviente Stained Glass Studios of Ithaca, NY receives their final payment. The 45 windows are in storage and should the current contract fail then these would become available for purchase by any one. A future developer could possibly purchase these windows and also purchase the services for the installation of same but we would not be able to comment on the potential price point Mr. Serviente might request nor whether he would be still willing to install these for price.

#### **IV. EXISTING BLDG CONDITIONS & RECOMMENDATIONS**

The original 2005 Zausmer Frisch report included a brief evaluation of the Building Code for a proposed change of use and also a look at Chapter K which dealt with existing buildings. The chapter K evolved into a separate volume which today is the Existing Building Code of New York State [2010 ed.]. Chapter 9 Change of Occupancy and Chapter 10 Historic Buildings apply for this building. Regarding the two specific questions the ZF report tried to address previously – the change in use for a community function, toilet room fixture counts and exiting; we will try to address under these new provisions. However we strongly recommend that any future proposed project undergo a full and complete building code review inclusive of ADA requirements and any other applicable codes.

For the change of use from church [Assembly Group A] to community use function [Assembly Group A], this would NOT be considered a ‘change of occupancy’ under the current code as described in Chapter 9 Change of Occupancy. Section 912.8 however, requires an accessible route from a building entrance to the primary function area [read Sanctuary space]. In this case, the existing Stair climber installed at the Colvin Street entry under the Porte cochere will no longer comply with accessibility regulations. And so a new solution for wheelchair access to the main sanctuary will have to be found. We suggest that a wheelchair lift or a LULA be considered for installation in this historic building. These have been approved by SHPO or the National Park Service in the past on other historic buildings depending on the location in the building these are proposed. Exterior additions to accommodate these devices have also been approved in the past by these agencies. Suggesting a design solution for use of either of these devices is beyond the scope of this conditions report and we will not be able to address the costs in the proposed Budget section of this report.

The other item addressed in the 2005 report was a look at the toilet room fixture count. Any increased demand resulting from the change in use would require compliance with the Plumbing Code of New York State provisions. However we agree with the ZF conclusion that from a practical viewpoint there are not enough fixtures for a “full house” capacity today.

As part of the investigation, we examined conditions on the different floor levels of the building and

areas of active water leaks and also the issues of the incomplete stained glass window installations at the Sanctuary. One of the challenges of trying to update the 2005 report includes the fact that the building was in relatively good condition and occupied at that time of 2005 therefore few areas of deterioration were described. Today the building has been vacant since 2007[ten years] and has suffered from continuous water leaks and the shut-off of heat which in turn has allowed for moisture to build up inside the building affecting finishes. Many damaged areas have occurred only after the report of 2005 and so not mentioned at all but we will endeavor to try to address as much of the building as we can. The roof condition will be addressed in a separate report as per our letter agreements. Photos were taken of key features of deterioration which are prime candidates for repair. These are in an appendix and labeled.

The original 2005 Zausmer Frisch report included a Phase I Environmental Site assessment of the property but did not conduct any sampling nor testing of suspect materials. The assessment merely evaluated potentially suspect materials and so was not conclusive.

The Greater Syracuse Land Bank had HSE Consulting Services LLC conduct sampling and testing of interior wall and ceiling plaster as well as 1' x 1' ceiling tile and mastic in May of 2016. A total of 27 samples were taken and tested with no positive results for ACM. However no investigation into any wrapped pipes in walls or ceilings were tested for asbestos containing materials. Also no tests were performed for lead paint. We would recommend that the next phase of their services include lead paint sampling and testing. We have not addressed these potential costs in the Budget Construction Costs section.

We will address observations under three categories – the main sanctuary [1905 addition] and the original chapel [1901] and then Fuelgel engineer's Mechanical-Electrical-Plumbing systems of the chapel and addition; room names and room numbers used in the following descriptions conform to the original 2005 report and plans as much as possible; also we will only mention those spaces where there is damage or there are issues to be addressed in a future renovation project :

## **A. MAIN SANCTUARY [1905 ADDITION]**

### **1. Main Sanctuary – EXTERIORS**

- a. The exterior facades are"... *brick construction over a stone foundation, with stone facing of Genesee Valley bluestone (also known as Warsaw blue limestone) rough-cut in different size rectangular blocks and tightly laid with thin mortar beds in an uneven pattern. Genesee Valley bluestone is frequently referred to as a limestone, but it is really a fine-grained, dark, blue-gray sandstone from near Portageville, quarried by the Genesee Valley Bluestone Co.*"

The condition of this 'bluestone' varies depending on which elevation is being viewed. Each side has areas of delaminating stone faces which points up the main defect of the original method of how the stone was laid, ie. its bedding orientation. Instead of placing the stone in the same orientation as it was quarried, the masons instead placed the stone vertically or 90 degrees to its position in nature. Consequently the decades of weathering have affected the outer layer and where excessive water is dumped onto these surfaces from the roofs above this has created stress on the stone and has accelerated and increased the number of layers of delamination. This can be seen from a distance when viewing the entire wall where the delaminating stone has exposed cleaner and lighter original stone surface.

Repairs to this 'bluestone' can be expensive and according to emerging preservation

techniques there are a few methods of arresting the delamination including chemical applications and repair mortars. We can recommend a simple method for addressing this issue in a minimal way which would be to pull some of the more precarious layers of stone off their façade to avoid these dropping below. We have already expressed this idea with the Executive Director for the Greater Syracuse Land Bank and so this will most likely have already have been implemented before the submission of this report.

The rear or west side of the 1905 Addition is a brick façade in need of repointing work with some brick replacement needed at a few locations. This is evident at the top of the wall and crenelated parapet of the NW corner.

Chimneys will be covered in the roofing conditions report.

## **2. Exterior metal fire escapes**

a. There are two fire escapes – one at the front of the 1901 Chapel and one at the rear or west side of the main Sanctuary. These are in good condition except for some rusting of the steel which should be removed and then both repainted. There should be testing of lead paint prior to any work being performed and if tests are positive then work scopes should be adjusted accordingly.

## **3. Windows - Main Sanctuary**

a. The large stained glass rosettes at the balcony level for the East Wall, West Wall and the South Wall appear to be in good shape. However at the main floor level the smaller rectangular openings have temporary materials and are missing the sash of the stained glass window replacements. We are informed by the **Tony Serviente Stained Glass Studios of Ithaca, NY**, that he currently holds 45 stained glass window replacements which he is under contract to install and is awaiting a payment from his client, Ms. Tiffany. [see planning concerns under previous section III.]

## **4. Windows – other locations**

a. The windows around the rest of the building exhibit weathering of the wood frames and should be addressed with a program of repair – sanding, epoxy fill for weather checks, and repainting. The paint needs to be tested for lead prior to any work being performed and if positive then the work scope should be adjusted accordingly.

## **5. Doors – exit doors**

a. The exit doors from the west side are HM types with rust and other damage. These should be repaired and or replaced. Under a repair scope they should be tested for lead paint prior to any work being performed and if the tests are positive then the scope should be adjusted accordingly. The east side exit door appears to be a solid wood door stained dark. This door is in fair condition but should still be refinished for better weather protection.

## **6. Doors – entry doors and entry steps**

a. The main entry alum doors at the corner of Colvin and S. Salina Street are in good condition however the stone steps on the Colvin Street side need repair work.

## **7. Main Sanctuary INTERIORS – main sanctuary - walls and ceilings**

a. The Sanctuary space has several areas of damage due to roof leaks. Looking to the north at the altar/ organ area we see to the right and to the left areas of damaged plaster at the ceilings of the barrel vaults over these side spaces over mezzanine balconies. We have not addressed the condition of the organ at the altar area – but we recommend that a specialist be considered in any evaluation of it and its potential for restoring its function. It is a truly



magnificent feature for the space with its majestically decorated pipes.

b. To the right of the alter and chorus area the wall shows plaster damage [the layers of plaster have delaminated from the brick surface] due to the same roof leak in this area – behind this wall is a stairway that was experiencing damage in the first 2005 report and has only progressed in terms of damage. This entire wooden stair may now be deteriorated beyond repair and may need to be replaced. This can only be properly evaluated with the removal of the heaps of plaster debris to have a look at the wood stair beneath.

c. The right hand pier supporting the barrel vault over the alter shows plaster damage from the same leak its entire height.

d. Major damage - Again looking to the right or east side over the balcony area we observe more plaster damage at the barrel vault on the right hand face apparently from another roof leak. For the space directly behind this wall which is a space directly over a “vestibule” according to the ZF plan there is greater damage to the walls and floors. This is in need of major reconstruction with rotted floor giving way to a dangerous sagging condition and this is repeated in the floor below at the main floor level of the sanctuary as well as into the basement space of the women’s’ toilet room. Heaps of plaster and debris cover the floor. The partial collapse of these floors signals this as an area of prime concern for the building. The ceiling and walls under the balcony in this corner where the other side has the major hole in the floor and ceilings we again see plaster damage and peeling paint due to the penetration of moisture in this area.

e. On the opposite side of the wall [west wall] facing into the Sanctuary there is more plaster damage and also along the balcony access stair located adjacent to the organ.

f. All of the finishes in the sanctuary have been affected by moisture as evidenced by peeling paint. Again the paint should be tested for lead and if positive then the work scopes for repair of plaster and repainting should be adjusted accordingly.

#### **8. Main Sanctuary Floors –**

a. The sloping wood floors of the sanctuary appear to be in sound condition. We will not address the carpets other than to report that they should all be removed. Whether there should be carpet replacements will depend on the adaptive reuse design employed by the next owner.

#### **9. Entry Space & Vestibule**

a. The entry Space has a deteriorated area damaged by a long term water leak – a major hole in the ceiling has developed as well as in the floor – the surrounding floor has sagged and is structurally unsound and unsafe. The adjacent walls have suffered damage from plaster separating and falling to the floor and the underlying wood lath is damaged. The moisture laden atmosphere has attacked the plaster and paint finishes in this space severely; and of course peeling paint throughout the space.

b. The vestibule has a ragged hole in the ceiling around the framed hatchway with damaged plaster and damaged wood lath surrounding it. The moisture laden atmosphere has attacked the plaster and paint finishes in this space severely. Under a repair scope they should be tested for lead paint prior to any work being performed and if the tests are positive then the scope should be adjusted accordingly.

#### **10. Stair Rm 106**

a. This stair together with the wall & ceiling plaster finishes are damaged from the major water leak in this area which has come from above.

#### **11. Office area adjacent to Sanctuary**

a. The office area has a fire place however this space is one of those with missing windows

and was addressed previously under the exterior list of issues. There is one surviving stained glass window flanked by two more windows – one with a plywood panel and one empty of window sash. The moisture laden atmosphere has attacked the plaster and paint finishes in this space. Under a repair scope these should be tested for lead paint prior to any work being performed and if the tests are positive then the scope should be adjusted accordingly.

**12. MEZZ LEVEL – Second floor**

a. Three spaces located at the corners of this floor plan all show the same problem of moisture damage to the plaster finishes. **Office M-2, Office M-6 and Supply space M-5.** Office M-6 has additional damage to plaster from the roof leaks and the space adjacent to this office without any name but directly above the **Vest. Rm 107** has a major hole in the floor from the roof leak with damage to plaster finishes to surrounding areas.

b. The **Stair Rm 106** as mentioned above at the main sanctuary level.

**13. LOWER LEVEL – Women's room LL11**

a. The women's toilet room on the lower level is completely damaged with the partial collapse of the ceiling above and the infiltration of water leaks into the space to rust the toilet partitions, damage the plaster and wood lath beyond repair. Once the major ceiling hole is repaired and the entire toilet room should be demolished and debris removed. A new toilet room should be installed however because of the level change of one step up from the floor level there is another problem for wheelchair access that will now need to be resolved as part of the redesign of this space.

**14. Community Rm LL09**

a. The finishes at the SE corner adjacent to the women's room on the other side are damaged from the water leaks in that location. Additionally the moisture in the air contributed to damage to the finishes in that part of the space with additional plaster damage and separation from the wood lath support at the ceiling.

**15. Stair Rm 106**

a. This stair together with the wall & ceiling plaster finishes are damaged from the major water leak in this area which has come from above and is mentioned in the main level descriptions of damage at the sanctuary.

**16. Community Rm LL08**

a. This space is adjacent to Stair Rm 106 and also suffered water damage to the plaster finishes. This room was a former open stage that was up two steps from the main space of Community Room LL09.

**17. Vest. LL06**

a. This space includes the covered wheelchair ramps from the exterior rear doors down to a landing space and then down another ramp to another space that served as a ante room to enter the larger Community Rm LL09. The roof over this space has failed and water pours into these areas damaging all finishes. The CMU walls are intact and can be repainted after the roofs are redone. The wall surfaces which were once exterior walls for the 1905 addition or the original 1901 Chapel can be repaired and refinished.

**B. CHAPEL [1901 ORIGINAL BLDG.]**

As mentioned previously the roofs of this building will be covered in the Roof Conditions Report.

**1. EXTERIORS – masonry**

a. The stone masonry of the Chapel has the same issues as the main sanctuary building

mentioned earlier. We make the same recommendations for stone repairs to this structure as for the main building.

## **2. Windows**

- a. The same issues for the exterior wood frames and wood sash of the windows for this chapel building carry the same recommendations we have for the main building.

## **3. INTERIORS – Auditorium [Community Rm 104]**

- a. There are missing ceiling tiles which need to be replaced. At the rear space behind the stage there is additional damage apparently due to a break-in at the window and infiltration of moisture in this area. The finishes show moisture damage and peeling paint.

## **4. Mezz Level or Second flr – Office spaces M-4 and M-3**

- a. Both of these spaces show moisture damage to the finishes with peeling paint in M-3.

## **5. Lower Level – Community Rm LL02**

- a. The finishes in this room show signs of moisture damage and peeling paint.

# **C. MECHANICAL-ELECTRICAL-PLUMBING SYSTEMS**

## **EXISTING CONDITIONS**

Mr. Bill Fuegel, P.E., of William Fuegel Engineering, PC, of Syracuse, was tasked to provide a description of existing heating, ventilating & air conditioning systems, electrical power and lighting systems, life safety systems, and plumbing systems with a recommendation regarding upgrades necessary based upon the proposed adaptive reuse of the facility and a budgetary construction cost estimate for the same which we have included in the report Section VI Budget.

At the end of this MEP portion of the report we have reprinted the HVAC and Electrical letters that were included in the 2005 report for convenience here. For some reason no plumbing review was provided in 2005 except for a line item in the Budget section which talked about repair of fixtures in each toilet room to working order for a total of only \$4,500. No mention of any related work to roof drain piping within the building envelope.

On Wednesday, May 3rd, Mr. Fuegel traveled to the project site to conduct a building walk through and assess the existing conditions of the mechanical, electrical and plumbing systems. To summarize his findings, he states that there is very little which is salvageable for any adaptive reuse of the building.

### **1. *Heating, Ventilating and Air Conditioning***

The building's current heating systems consists of a hot water system with a gas fired boiler located in the basement mechanical room and radiation and terminal heaters located throughout the spaces. It is our understanding the heating system has not been operating for a number of years.

The heating plant consists of an old HB smith cast iron sectional boiler with a natural gas burner. It is estimated the boiler was constructed circa 1960. There are two (2) heating system pumps; Bell & Gossett Series 60 circulators. These circulators appear to be in very good condition.

The terminal heat transfer devices within the spaces consist of finned tube elements enclosed in a sheet metal, louvered cabinet. Exposed supply and return piping delivers the hot water to these

units. The numerous zone control valves and thermostats as part of the hydronic system are in a condition of disrepair.

Visually, it appears the heating elements are in good condition. However, the distribution piping is cast iron and it was not feasible to assess the internal condition of this piping.

Community Room 104 on the mail level is currently served by two (2) packaged HVAC units which provide heating, cooling and ventilation via a ductwork distribution system located above the suspended ceiling. The packaged HVAC units are located on an exterior rack on the north side of the space. These units have reached the end of their useful life.

In the sanctuary and also the basement community rooms there are wall mounted air grills which are connected to vertical duct shafts. This is part of an old gravity ventilation system used in buildings of this era; it is assumed the system no longer operates as intended.

Aside from the ventilation which was at one time operating in Community Room 104, there is no other ventilation to the building.

## **2. *Electrical Power and Lighting***

At the time of the walk through, power to the building had been disconnected.

The facility is served by a Square D 240/120 volt, single phase, 400 amp, circuit panel located in the basement. At the time of the walk through, not all of the additional distribution subpanels were identified. Two sub-panels were located on the basement and first floor; these panels use push-a-matic circuit breakers which are obsolete and expensive to replace.

The building is insufficiently served by general purpose duplex receptacles as the number of devices is limited. The existing devices are very old and the condition of the wiring could not be ascertained but based upon the age of the building it is assumed it would be in a very poor condition.

Lighting throughout the facility is accomplished through a mix of surface mounted fluorescent fixtures, incandescent fixtures, wall sconces and chandeliers. All fixtures are very old. Light levels could not be determined at the time of the walk through.

Emergency lighting and exit signage is limited throughout the building.

There is a fire detection and alarm system panel located in the vestibule, however, the devices throughout the space were insufficient to meet current life safety standards.

## **3. *Plumbing Systems***

The location of the existing incoming water service to the building was not found at the time of the walk through.

There are several restrooms throughout the building which are in a condition of disrepair; the fixtures are old and really show their age. The condition of the water distribution piping could not be determined.

In the basement mechanical room is a 40 gallon hot water tank. The condition of the tank is questionable.

The natural gas service enters into the basement mechanical room. Distribution to the gas utilization appliances is done with sch 40 black steel piping.

There is no fire protection sprinkler system in building.

## **OBSERVATIONS APPLIED TO ADAPTIVE REUSE OF THE FACILITY**

### **4. *Heating, Ventilating and Air Conditioning***

Any proposed renovation and adaptive reuse of the space will require ventilation systems for the occupied spaces in accordance with ASHRAE standards. Additionally, most proposed occupancies will also desire the space to be air conditioned. The existing building systems are not applicable to providing air conditioning and/or ventilation.

The existing hot water heating system has reached the end of its useful life and should be removed and replaced. The existing terminal heating units could remain following a thorough cleaning but cost may justify simple replacement. The existing hot water distribution piping should be removed and replaced as the condition of the pipe cannot be verified nor trusted to perform moving forward.

Any renovation project to the building will initiate the need to conduct a heating and cooling load of the existing building to provide equipment with sufficient capacity.

The proposed heating and air conditioning systems should incorporate the introduction of outside air into the building. The exhaust of the building from the bathrooms and work areas would be upgraded to offset the ventilation air requirement.

Mr. Fuegel recommends a combination of heating, ventilating and air conditioning systems. A new hydronic heating system would be provided in the entire building to address the heating loss at the perimeter. This will require a new gas-fired condensing boiler, circulators, hydronic piping and terminal heating units.

Additionally, individual ventilation systems for the occupied spaces are recommended. This would consist of horizontal fan coil units with a ductwork distribution system for the space(s) served. In some cases high velocity systems with ductwork distribution system for the space(s) served may be provided. Each of the HVAC units would have hot water coils for heating and either DX coils or chilled water coils for cooling. The determination of using DX cooling, chilled water cooling or a water source heat pump system would be made based upon the total building cooling load.

Each of the HVAC units would be provided with outdoor air to provide the code required ventilation for the space(s) served.

New exhaust fans for the bathrooms, mechanical spaces and general areas would be provided to offset the building outdoor air introduced.

## **5.     *Electrical Systems***

The existing electrical service is not of sufficient capacity for any adaptive reuse of the facility. A three phase service to the building will be required to power the proposed HVAC systems and any lifts/elevators required for building accessibility.

The existing lighting fixtures in the facility should be replaced with more efficient lighting fixtures which utilize LED lamps. A more thorough investigation would be required to determine replacement on a fixture by fixture basis in the facility as many of the fixtures are historic in appearance.

The existing electrical devices and conductors should be removed and replaced. Any proposed renovation should incorporate additional general purpose duplex receptacles. However, because of the existing historic wall finishes it will be difficult and costly to install new devices.

Mr. Fuegel believes the entire fire detection and alarm system should be removed and discarded and a new system be provided throughout the building to satisfy the code requirements for this occupancy.

Finally, additional emergency lighting fixtures and exit signage should be provided.

## **6.     *Plumbing Systems***

The hot water demand of the facility appears to be minimal. If this is the case the existing 40 gallon hot water tank should be removed and discarded. A smaller 20 gallon electric water heater could be provided to satisfy the minimal hot water demands of the building; also point of use hot water heaters could be utilized.

Mr. Fuegel would imagine any proposed renovation would involve the renovation of the restrooms to meet accessibility standards; as this is the case new fixtures would be provided at the time. Also, a drinking fountain should be provided on the ground floor and mop sink or laundry tub should be provided in the basement.

The existing incoming water service is of sufficient capacity to satisfy the domestic water demands of the building. Any significant renovation or construction of an addition may trigger the installation of a backflow preventer onto the existing water service.

Depending on the results of an occupancy study, a fire protection sprinkler system may be required. If this is the case then a new 6" incoming water service would be required.



# HVAC Report

<b>To:</b>	Ray Scruton	<b>From:</b>	Dave Wildrick
<b>Company:</b>	Zausmer Frisch	<b>Pages:</b>	2
<b>Fax #:</b>	475-8470	<b>Date:</b>	4/14/2005
<b>Re:</b>	South Presbyterian Church	<b>CC:</b>	

During our walk through we observed the following:

The existing heating system is a hot water system with a boiler and radiation and terminal unit heaters.

The system has an old HB smith cast iron sectional boiler with a natural gas burner. The serial number on the burner seems to indicate that the boiler was manufactured in 1960. The loop pumps are series 60 B&G circulators. The system appears to be fully operational at this time. This type of heating system and technology is still used in current HVAC designs.

The Hot water radiation installed throughout the building appears to be in fair condition. There are numerous zone control valves and thermostats that appear to be in need of repair or replacement.

The original building's main floor HVAC system appears to have been upgraded within the last 20 or so years. There are two packaged rooftop air conditioning units that serve the area. This appears to be the only air conditioning system in the entire facility.

There are sidewall air outlets connected to ductwork that runs vertically up through the building. These appear to be part of an old exhaust system that we have seen in other buildings of this era. The exhaust system is assumed to be inoperable at this time. Access to the attic space was unavailable to further investigate how the vertical ducts terminate in the attic.

To convert this building to a community center there are a number of HVAC issues that need to be considered:

- Ventilation – The new community center will need to have an HVAC system that ventilates the facility to current codes and ASHRAE standards. There is no existing ventilation system that can be retrofitted to meet current standards in the building.

- Heating system – The boiler, pumps, and terminal units with moving parts have exceeded their normal life expectancy and should be replaced.
- Air conditioning – There is no means of mechanical cooling installed in the gathering areas.
- Mechanical space – Any new systems installed to provide ventilation and air conditioning will require mechanical space for new equipment. Soffit space and cutting or patching of existing walls will also be required to accommodate the installation of new duct systems.

Based on the information given above we offer the following budgets to provide new HVAC systems:

- Main Level HVAC - \$120,000.
- Lower level HVAC - \$94,000.
- Community Room upgrades – \$11,000
- Boiler replacement – \$70,000
- Commercial Kitchen ventilation systems - \$60,000 (if required)

Thank you for this opportunity to tour this beautiful old church. We would welcome the opportunity to work with you to transition the usage of this building.

Regards,

David M. Wildrick

Decker & Bruce Electric, Inc.  
22 Corporate Circle, Suite #3  
East Syracuse, New York 13057  
deckerandbruce@aol.com  
Phone (315) 432-1835 Fax (315) 432-1836

April 15, 2005

Zausmer & Frisch Associates, Inc.  
219 Burnet Avenue  
Syracuse, New York 13203  
Fax number: 475-8470

Attn: Gary Zausmer, Ray Scruton  
Re: South Presbyterian Church

Gentlemen:

A) Electrical Service


1. 400-amp 120/240 volt single phase service
2. Distribution:
  - a. A 200-amp fused switch that feeds the outside condensing units.
  - b. A 400-amp single-phase distribution panel Type SqID. It has three 100-amp two pole breakers, two 70-amp breakers, three 20-amp two pole breakers, one 50-amp two pole breaker and one 20-amp single pole breaker.
  - c. There are miscellaneous panels on the first and second floors that are push-a matic breakers. These panels are obsolete and it is expensive to buy new breakers for them. If they can be found.

This service should be upgraded to a three-phase service. Existing service is not only very old, but being single-phase and 400-amp it will not support a very large load of HVAC.

- B) Lighting through out basement, second floor and area's off of the Chapel are very old, obsolete and dim. New lighting is recommended.
- C) Outlets and switching through-out should be redone with new wire and devices. In most areas probably new piping would be required.
- D) Piping up to panels from distribution panels are primary rigid conduit in underground. The chance is very small that the old conductors could be moved and new feeders pulled in existing pipe. More than likely new panel feeders would have to be piped and pulled.

Sincerely,

Decker & Bruce Electric, Inc.

  
Charles Bruce  
President

CB/mt

## V. REHABILITATION NEEDS AND PRIORITIES

The following table summarizes the proposed building repair workscopes [minus the roof workscopes which are included in a separate Roof Report] and suggests the relative priorities that should be given to help with funding choices. The top priority being number one of course.

BLDG WORKSCOPES		PRIORITY
1.	Repair leak damage at the Entry Space [3 levels under SE flat roof]	1
2.	Repair leak damage at the Organ area and Stair 105	1
3.	Repair leak damage at the other Sanctuary locations	1
4.	Repair leak damage at the covered Ramp space at rear	2
5.	Repair moisture damaged plaster through-out	2
6.	Repair windows [exclusive of stained glass windows]	2
7.	Repair exit doors	3
8.	Repair exterior masonry	3
9.	Replace MEP systems through-out building	4

## VI. PROJECT BUDGET

The following are pre-design probable cost estimates for budgeting purposes. This is for a proposed building Renovation project compliant with the Secretary of the Interior's Standards for Treatment of Historic Properties per the direction of the Greater Syracuse Land Bank. This does not include any estimating for hazardous materials removals or abatements nor any site costs for the parking area [paving repairs] etc. Also this will not include any budget for a lift nor a LULA elevator since this would entail some preliminary design investigation for building use, best location, SHPO consultation and related impacts on surrounding historic fabric of the building.

We should also note that this budget does not represent any changes for use beyond a Community Center which would basically keep all the present walls and layout. An adaptive reuse plan that alters the floor plan layout or major space changes may not find acceptance from SHPO or NPS and thereby not be eligible for the historic tax credit program.

### **Probable General Construction Cost Estimates:**

The opinion of probable construction costs for the **general construction** can be established as follows :

#### **A. Exterior**

1. Stone Masonry Wall Repairs..... \$ 25,500
2. Brick Masonry wall repairs ..... \$ 5,000
3. Window Repairs and Repainting [say 60 windows @ \$300ea]..... \$ 18,000  
[This does not include stained glass windows that Tony S. will install.]
4. Exterior Door Repairs [entry doors not included] ..... \$ 6,000
5. Metal Fire Escapes - Repairs ..... \$ 5,000

**[does not include any costs for hazardous materials abatement like lead paint;  
nor any costs for wheelchair accessibility via a lift or LULA.]**

#### **B. Interior**

1. Demolition and removal of damaged elements..... \$15,000
2. Repair of wood structural floors at Bell Tower leaks [3 levels]..... \$ 25,000
3. Repair of plaster finishes at three levels related to leaks in 2)..... \$ 15,000
4. Repair Main Sanctuary walls damaged by water leaks..... \$ 25,000
5. Repair of plaster at Sanctuary level spaces [not in 3). above]..... \$ 10,000
6. Repair of plaster finishes at Mezz Level [1905 Add.]..... \$ 10,000
7. Repair - Plaster finishes /Lower Levels /Chapel and 1905 Add.] \$ 15,500
8. Replace Womens' Toilet finishes at Lower Level [fixtures in Plbg] \$ 10,000
9. Repair of Stair Rm 106 and finishes at all levels..... \$ 15,000
10. Repaint interiors at Chapel and 1905 Addition..... \$ 30,000

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**Building Sub Total      \$      230,000**  
**[does not include Roof repairs or replacements]**

### **Mechanical-Electrical-Plumbing Construction Cost Estimate**

The opinion of probable construction costs for the **mechanical systems** can be established as follows (based upon the use of a water source heat pump system):

• Demolition:	\$10,000
• Hot water boiler and circulators:	\$28,000
• Cooling tower	\$60,000
• Concrete pad:	\$10,000
• Make-up air unit with ductwork:	\$35,000
• Controls:	\$12,000
• Horizontal heat pumps (installed with ductwork):	\$84,000
• Hydronic piping (furnish and install):	\$40,000

Total: **\$279,000**

Opinion of probable construction cost for the **mechanical systems** excludes a kitchen ventilation system.

The opinion of probable construction costs for the **electrical systems** can be established as follows:

• Demolition:	\$15,000
• Incoming 3-phase electric service:	\$40,000
• Replace electrical devices and wiring:	\$35,000
• Additional electrical devices and wiring:	\$15,000
• New lighting fixtures	\$75,000
• Emergency lights and exit signs:	\$12,000
• Connections to mechanical equipment:	\$15,000
• Fire detection and alarm system:	\$35,000

Total: **\$242,000**

Opinion of probable construction cost for the electrical systems excludes electrical power to kitchen equipment, telephone & data wiring and a standby emergency power generator.

The opinion of probable construction costs for the **plumbing systems** can be established as follows:

• Demolition:	\$10,000
• Modifications to existing water service:	\$2,500
• Replace fixtures and accessories:	\$17,000
• Sanitary rough-in modifications:	\$22,000
• Hot & cold water rough-in modifications:	\$18,000
• Water heaters:	\$4,000
• Gas piping to mechanical equipment:	\$8,000

Total: **\$81,500**

Estimate of probable construction cost for the plumbing systems excludes a fire protection sprinkler system the 6" incoming water service required for the same, natural gas piping to kitchen equipment and to a standby emergency power generator.



## **SUMMARY – PROJECT BUDGET**

This summary of the probable construction cost estimates for the repairs, replacements and new elements as mentioned above excludes any HC Lift or LULA elevator, architectural & engineering fees, testing and abatement. In addition the proposed costs do not include those costs for the roofs, chimneys nor gutters and leaders. The roof costs are detailed in the separate but companion Roof Conditions Report.

### **Probable General Construction Cost**

<b>Building Repairs [exclusive of Roof repairs].....</b>	<b>\$230,000</b>
<b>Mechanical Cost.....</b>	<b>\$279,000</b>
<b>Electrical Cost.....</b>	<b>\$242,000</b>
<b>Plumbing Cost.....</b>	<b>\$ 81,500</b>

Total Project Budget	<hr/> <b>\$832,500</b>
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The Zausmer Frisch 2005 Report Budgets page is reproduced here for convenience of comparison to earlier Section VI Project Budget cost projections .

## BUDGETS

### ARCHITECTURAL REPAIR WORK/DEMOLITION/REMOVALS

EXTERIOR SOFFITS-	\$37,200
BRICK CLEANING & REPOINTING-	\$35,000
ROOF (SEE ATTACHED ROOF REPORT)	\$265,000
MAIN CHURCH BUILDING ONLY	
ORIGINAL BUILDING ROOF	\$10,000
INTERIOR-	
REPAIR/REPLACE MISSING CEILING AREAS-	\$47,500
REPAIR/REPLACE MISSING WALL FINISH AREAS-	
REPAIR/REPLACE STAIR TREADS & LANDING STAIR-106	

### PLUMBING

REPAIR (REPLACE AS REQ'D) FIXTURES IN EACH TOILET ROOM TO WORKING ORDER	\$4,500
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### MECHANICAL (SEE ATTACHED HVAC REPORT)

PROVIDE NEW HVAC SYSTEM	
MAIN LEVEL	\$120,000
LOWER LEVEL	\$34,000
COMMUNITY ROOM UP GRADES PER CODE (KEEP EXISTING SYSTEM)	\$11,000
BOILER REPLACEMENT	\$70,000
COMMERCIAL KITCHEN VENTILATION SYSTEM (IF REQ'D)	\$60,000

### ELECTRICAL

ADD EMERGENCY AND EXIT LIGHTING AT AUDITORIUM AREA	\$21,000
PROVIDE NEW 1200 AMP SERVICE	\$225,000
REPLACE EXISTING LIGHTING (EXCEPT CHANDELIERS)	

ARCHITECTURAL/ENGINEERING FEES OF 7% - 10% TO BE ADDED  
TO SCOPE OF WORK SELECTED.

## Appendix “A”– Photos of Bldg elements



**Figure 1 – N East balcony area and views of ceiling damage. Window openings below the balcony await stained glass window installations.**



**Fig 2 – Close-up of damaged area under SE Balcony; outside doorway to Vest Rm 107.**



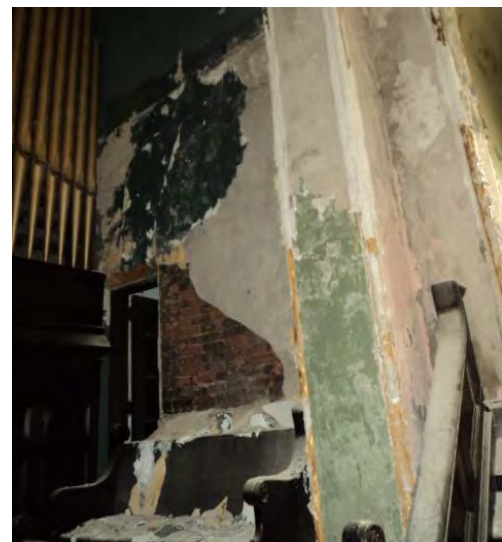
**Fig 3 –NW Balcony Area; ceiling damage.**



**Fig 4 – Vest Rm 107 – damage from roof leak**



**Figure 5 – Organ area with water damage**



**Figure 6 – close-up of damage at organ area**





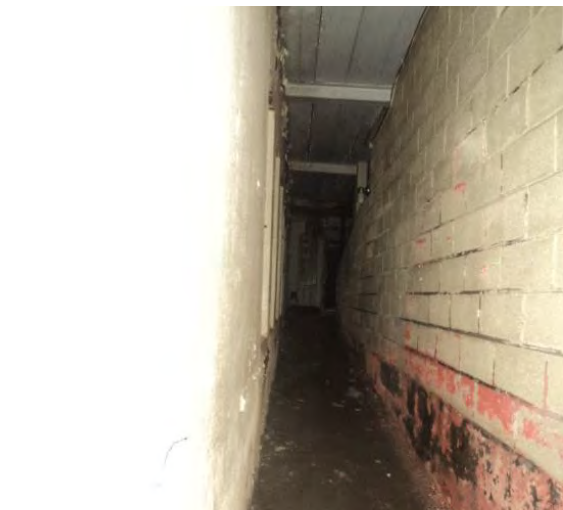
**Figure 7- damage at Stair 106 at east side of Organ from roof leak.**



**Fig 8 - damage at lower level Community Rm**



**Fig 9 - close-up of damage at lower level Community Rm**



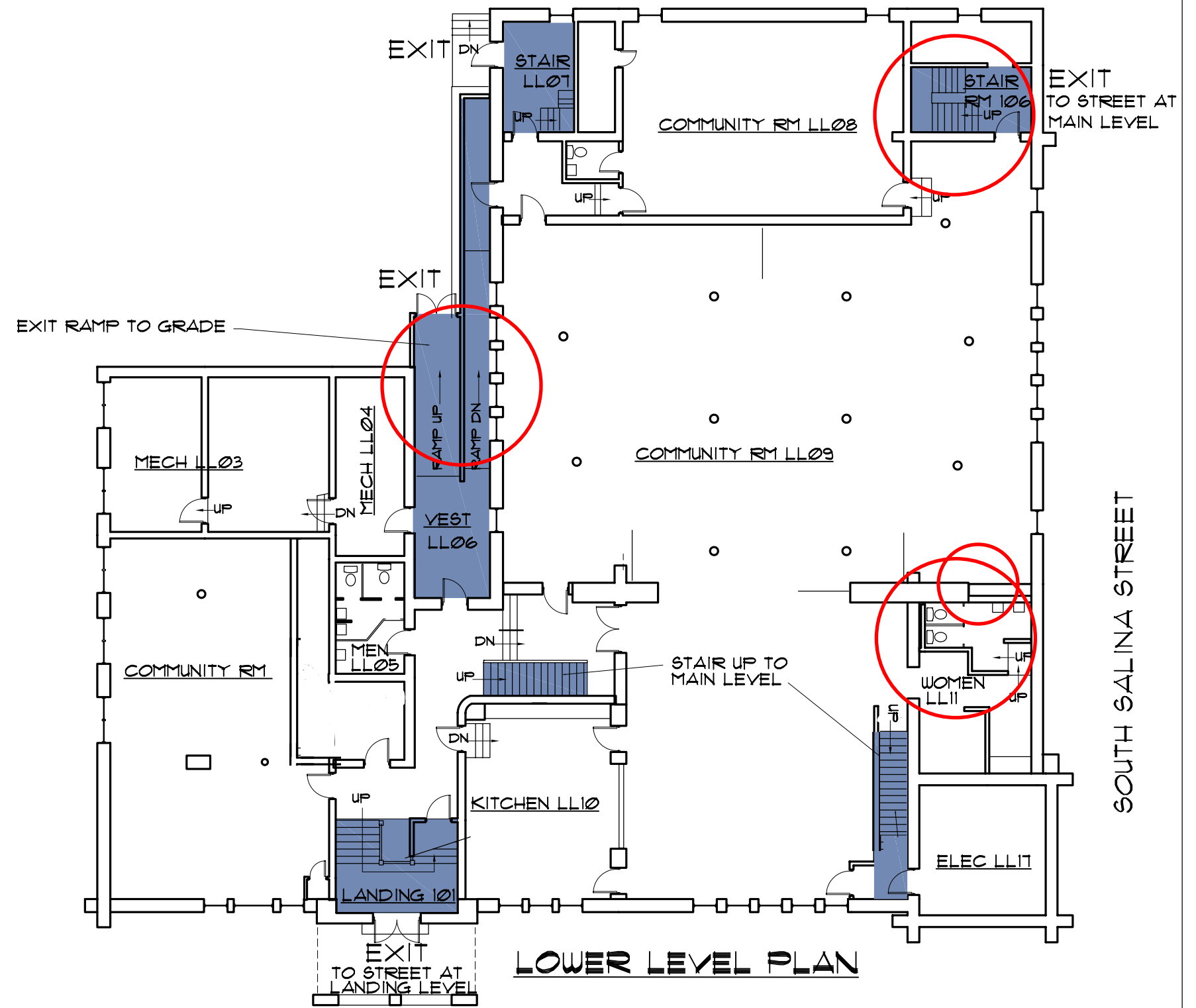
**Fig 10 - Damage at lower level ramp**



**Fig 11 - Damage at west wall of Sanctuary**



**Fig 12 - Damage at west wall of Sanctuary**

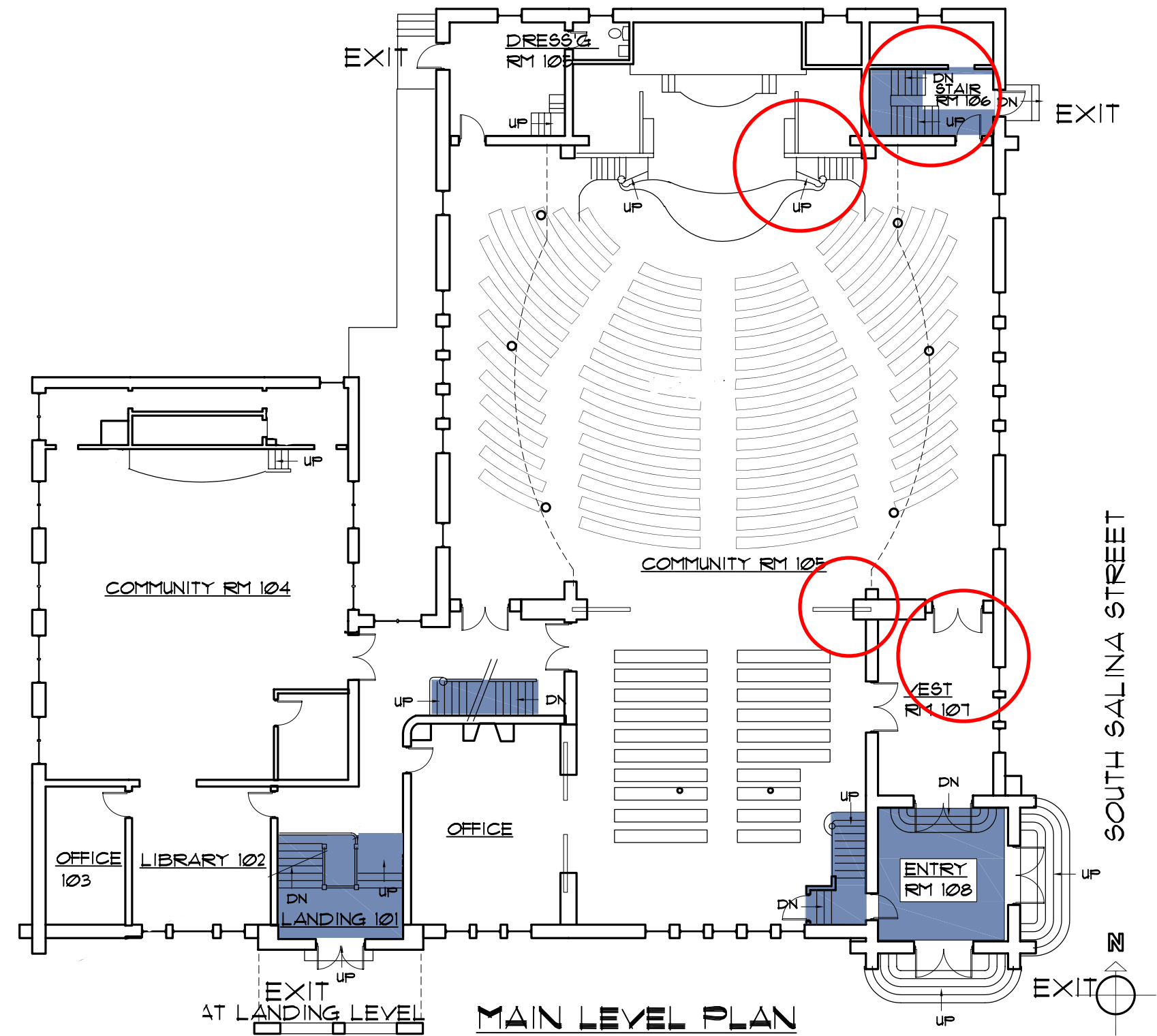


LOWER LEVEL PLAN

Areas of major damage from leaks

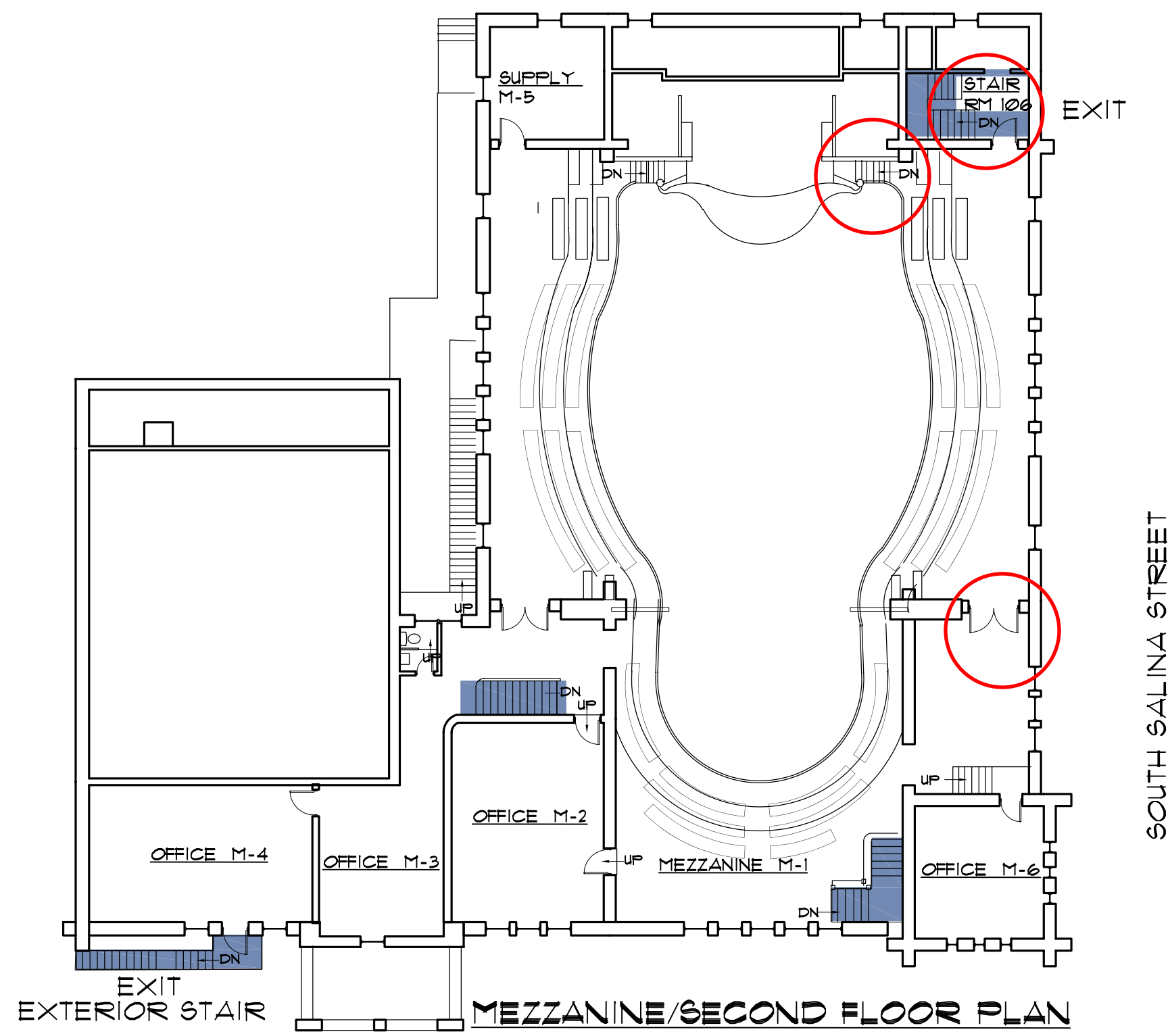
COLVIN STREET

SOUTH SALINA STREET



MAIN LEVEL PLAN

Areas of major damage from leaks



Areas of major damage from leaks

COLVIN STREET

SOUTH SALINA STREET



## CONDITIONS REPORT FOR THE ROOF



# South Presbyterian Church Syracuse, New York

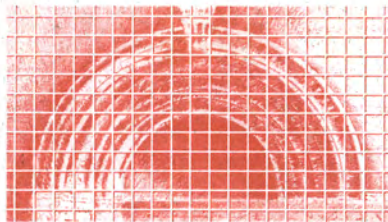
### PREPARED FOR:

Greater Syracuse Land Bank  
431 E. Fayette St. Suite 375  
Syracuse, NY 13202

### PREPARED BY:

Holmes King Kallquist & Associates, LLP, Architects  
Syracuse, New York

May 30th, 2017



**HOLMES • KING • KALLQUIST**  
& Associates, Architects

575 NORTH SALINA STREET, SYRACUSE, NY 13208

CONDITIONS REPORT FOR THE ROOF

S. Presbyterian Church

South Salina and Colvin St.

Syracuse, New York

May 30th, 2017

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- II. Brief description of the building roof systems
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- V. Roof Replacement & Rehabilitation Needs and Priorities [chart form]
- VI. Roof Project Budget

Appendix “A” - Annotated photographs

Appendix “B”– roof aerial photos

## CONDITIONS REPORT FOR THE ROOF

### South Presbyterian Church Syracuse, New York

May 30<sup>th</sup>, 2017

## I. INTRODUCTION

The Greater Syracuse Land Bank is in the process of securing the property for redevelopment for this National-Register-listed Church in which the first phase will deal with the most urgent & immediate needs of the roof. This report was commissioned with the intent of identifying these needs and to begin to address them as well as an overall assessment and update of the 2005 report that was prepared by Zausmer, Frisch, Scruton & Aggarwal [the roof evaluation component of this 2005 report was prepared by Klepper Hahn & Hyatt Consulting Engineers.]

We note that the National Park Service listed the building on the National Register of Historic Places on March 27<sup>th</sup>, 2017 [NYS 16PR07386 / NR 16NR00130].

This report update has been prepared by Dean A. Biancavilla, AIA, of Holmes King Kallquist & Associates, Architects, LLP (Syracuse, New York) based on a field visits including a visit on May 11<sup>th</sup>, 2017 with a motorized lift and subsequent research. Most of the building elements to be examined are mentioned in this report and covered in several labeled photos included in an Appendix.

This scope of investigation involves the following:

- ! The concept of **Roof Replacement and Repairs** – areas in need evaluation include roof drainage, rain gutters and leaders, the Bell tower, condition of the clay tile roof, and any damaged areas; also an examination of deterioration of the flat EPDM areas of roof. The replacement and repair scopes are to be recommended based on compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties since redevelopment of this property may involve grants or historic preservation tax credits because of its eligibility for the National Register of Historic Places.

## II. GENERAL BUILDING DESCRIPTION - the following is a good description of the resource prepared with excerpts from the National Register nomination:

*"The South Presbyterian Church is located on a large lot at northwest corner of South Salina and West Colvin Streets in Syracuse, New York. The lot includes the original rectangular mid-block lot on West Colvin Street that contained the first chapel and the larger adjacent corner lot purchased later. These lots were combined in 1905 for the construction of the existing church. An aerial view of the building clearly shows how the pre-existing chapel was incorporated into the new design when the lots were joined.*

*South Salina Street is U.S. Route 11, the primary north-south route in the region before the completion of Interstate I-81. South Salina Street is still a major artery for traffic between the Southside and*

downtown Syracuse. Thus, until the opening of the I-81 highway in the early 1960s, the church was passed by almost everyone entering the city from the south, whether heading to the downtown area or passing through the city to travel further north.

South Salina Street was both the formal and actual dividing street between the city's east and west. Colvin Street, which runs east-west, is one of the few major arteries on the Southside that nearly completely traverses the south side from east to west. At South Salina Street, Colvin jogs slightly to the north when heading east, so that the corner on which South Presbyterian is located projects beyond the expected street line to be fully visible when approached from East Colvin Street. A description of the time described the site as "unquestionably the best corner lot in the southern part of the city. East Colvin Street, by reason of a jog in the street, opens directly opposite the lot."1

South Presbyterian Church is a large two-story, L-shaped masonry structure of brick with a stone foundation and Genesee Valley bluestone facing on the east, west and south elevations. A square tower imbedded into the cross-gable plan of the structure marks the building's important corner site. Tall gable ends with large windows face each of the main streets: South Salina (east elevation) and West Colvin (south elevation). The church is built almost to the lot line on the east and south sides. A shallow landscaped strip of property separates the sidewalk from the building. An expansive parking area to the west and north of the church building is part of the lot.

The ground plan of the church can be seen as two unequal joined rectangles, with their longest side facing West Colvin Street. Aerial views show a different configuration. The sanctuary wing, on the corner of South Salina and West Colvin Streets, is oriented south to north, and is built on a cross-gable plan with the main sanctuary situated where the roofs meet. The aerial view shows this main section of the building as a cruciform plan, but on the ground, the cross has been squared.

The spaces between the arms of the cross are filled with subsidiary building parts, so the church appears a single mass from the street. The square tower is tucked between the east and south arms of the cross; square offices and robing rooms are tucked on either side of the north arm; and a larger entry way and transitional space is built facing West Colvin Street, between the west and south arms. The structure includes stairs that link to the large half-basement and to upper levels adjacent to the sanctuary, the classroom above the entryway, and the former chapel building, which continues to house a large chapel space as well offices and classrooms. Each arm of the sanctuary wing ends in a large stepped gable filled with windows. The two principal sides of the church face the major streets and present monumental facades.

To the west of the sanctuary were ancillary spaces that could be entered from West Colvin Street, where an entrance is marked by an impressive stone porte-cochere. Inside this entrance, steps lead down to a large half basement area, or up a half level to a vestibule area and access to office space, the chapel, and an internal wooden stairway leading upstairs to classrooms and meeting rooms as well as access to the sanctuary balcony from the west.

### **Exterior**

South Presbyterian Church is brick construction over a stone foundation, with stone facing of Genesee Valley bluestone (also known as Warsaw blue limestone) rough-cut in different size rectangular blocks and tightly laid with thin mortar beds in an uneven pattern. Genesee Valley bluestone is frequently referred to as a limestone, but it is really a fine-grained, dark, blue-gray sandstone from near Portageville, quarried by the Genesee Valley Bluestone Co. at the time South Presbyterian Church was

built.<sup>2</sup> The cornerstone is inscribed in raised lettering: "South Presbyterian Church, 1901-1906." The roof is covered with glazed red tiles. According to an early description of the church before it was completed, the roof was intended to be a slate, but the earliest photos of the church show the tile roof, suggesting that plans changed before the roof was completed.<sup>3</sup>

The South Salina Street elevation consists of a dominant gable wall with windows, slightly off center. This wall, the east wall of the sanctuary, is articulated with seven rectangular windows on the ground floor level; a large centrally placed arched window has a sill of that corresponds to the balcony level within and is flanked by two small windows and three small arched lancet windows with louvers higher in the gable at the attic level. The ground floor windows are a group of five immediately under the great arched window, and the group is flanked by similar single windows set at a slight distant on either side. These windows originally had colored glass panes, which have been removed.

The large arched window is filled with stone tracery including a central wheel window set over four vertical window sections, the upper edges of which terminate in scallop patterns. The great arch of this window is built of clearly articulated voussoirs, each of which project slightly from the plane of the exterior wall. The two flanking windows are each set apart and are aligned above the similarly separate rectangular windows on the level below. The masonry between the group of five ground floor rectangular windows and the sill of the great arched window is composed of six rows of square cut stone blocks, common in Romanesque buildings. At the top of the wall the gable is stepped, with each step terminated by a flat stone cap that slight overlaps the wall edge.

The South Salina Street wall continues toward the corner tower at Colvin Street. The short space between is a two-story elevation with three rectangular windows below and three arched windows aligned above. Between these levels is the same masonry of rows of squared blocks used between the other windows. The top of this wall and roof line is articulated with a horizontal course with rounded stone dentils.

The West Colvin Street elevation is nearly identical to South Salina Street. Here, the large gable wall abuts the tower on the east. At the top of the wall the gable is stepped, with each step terminated by a flat stone cap that slightly overlaps the wall edge. The three levels of gable wall windows are the same as before. The great arched window is the same as on the east (South Salina St.) except for a row of five basement windows at ground level. These are similar to the ground level windows and light the rooms below. The inclusion of the basement windows forced the raising of the level of the ground floor windows which correspond to a parlor/library room within, so the distance between the tops of these windows and the bottom of the great arch windows is less, and there is no use of distinctive masonry. To the west of the gable wall is a short continuation that fills the space between the new church and the original chapel. Here, as on South Salina Street, is the same arrangement of three rectangular windows and three arched windows; the wall between levels of windows is treated with rows of squared stones. To the west of this section of wall is the most distinctive element of the West Colvin street elevation. It prominently features a projecting porch in front of an entrance way. This has the form of a porte-cochere but, because it is situated on the sidewalk, it is designed for pedestrians rather than carriages or automobiles. The porch marks a ground level arched doorway that leads directly to the office, classroom and chapel space of the church, including interior staircases that lead to all levels. The porch marks the separation point of the older and newer sections of the building, even though these have been integrated into a single design.

### ***The Tower***

*Positioned at the southeast corner of the building is a sixty-foot-tall, three-level square corner tower (West Colvin and South Salina Streets. At street level its serves as a main entrance. Arched doorways with raised voussoirs are on the south and east sides, each reached by a short flight of five steps from the sidewalk. Stone buttresses protrude from the three exposed corners of the tower. At their bases, these extend toward the street and narrow as they rise to the height of the tops of the doorway arches, where they join flush to the tower wall.*

*Inside, stairs lead to the second story vestibule area. Outside, this is articulated with three tall, narrow windows with short, flat lintels on the south and east sides, and doorways to the sanctuary balcony on the west and north. A third tower level, indicated on the exterior by horizontal corbels on the corners topped by a horizontal molding across the entire wall width, reaches above the roof line. Traditionally this space would have housed church bells. All four sides are articulated with three tall arched windows, filled with louvers. It is not clear whether this screened room ever held bells at South Presbyterian, or whether the space is symbolic or vestigial. The very top of the tower is articulated with a strong horizontal molding supported by stone round-edged dentils. Above this is a crenulated parapet wall.*

### ***Interior***

*The sanctuary, which occupies the entire northeast section of the church, is an auditorium plan of one large open space with a wide front part at the north end and a narrower rear at the south end. Separate plaster cross vaults cover these spaces divided by a high wide arch. The rear, southern space is covered with a barrel vault, and in the front part, the center areas of the main sanctuary are surmounted by a plaster cross vault, while slightly flattened barrel vaults flank this space and cover the balconies. The sanctuary has fine woodwork throughout, almost all of which is intact and in good condition.*

*The balconies on three sides of the sanctuary are connected. This continuous structure abuts the inner walls and is supported by thin columns. The balcony extends around the entire sanctuary, except where the pulpit platform and large pipe organ fill the north side, with the dark mahogany panels taking on a sinuous ribbon-like form that visually ties the space together. Enclosed wooden stairways with solid wood sides are continuations of the balconies, connecting the pulpit platform to the balcony at the north. The balcony level slopes slightly toward the sanctuary center at the same grade as the floor of the sanctuary.*

*There is an evident rake to the sanctuary floor, which slopes from the rear northward toward the pulpit platform. The curved oak pews are arranged in semi-circular rows divided by a central aisle. The floor is partially carpeted, with runners in the aisles and carpet on the pulpit steps.*

*The pulpit platform is a stage-like structure that partially protrudes into the sanctuary space and partly recedes into the recessed northern sanctuary wall. The front of the platform is faced with wood similar to that of the balcony. Behind the pulpit platform, the lower part of the wall is covered with wood paneling. The upper part is filled with the large decorative pipes of the organ and entirely fills the space up to the curved moldings under the vault. The organ loft is directly behind the pulpit. The rear of the sanctuary opens via sliding original wood paneled doors on the west wall into a parlor area, which retains its original built-in bookcases and cabinets. One interesting feature is a dumbwaiter that can descend to the kitchen directly below in the basement.*

*The rest of the church interior consists of a basement beneath the sanctuary and a west chapel used as a community room (west side of building). Internal changes were made to the chapel in the 1960s (drop ceiling, carpeting and interior walls clad with plywood). Removal of portions of the drop ceiling and wall panels reveal extant historic fabric. The stair from the entrance to the door is original and features a wood panel balustrade at the upper landing, which opens into a hall with access to the parlor, sanctuary and chapel. The basement consists of a kitchen area with a pass-thru space in the wall separating it from a large, open dining area. The areas are utilitarian in nature and contain no outstanding historic features.*

### **Windows**

*The sanctuary originally had two tiers of art glass windows produced by Tiffany Studios. According to records, none were memorial windows and the church sold all but one of the windows in 2008 (small, rectangular window in the parlor). The Tiffany windows were almost entirely geometric, with the inclusion of few Christian symbols, including a cross and the abbreviation "HIS." There were no figures, narrative or landscape scenes of the type for which Tiffany was famous and no large panels. New stained glass windows have been installed to replace some of the larger missing windows. The remaining windows are clear glass.*

– excerpted from NR nomination.

[HKK note – there are currently some 45 stained glass windows yet to be installed as of May 22, 2017 by Tony Serviente Stained Glass Studios of Ithaca, NY. Phone: 607-277-7770 · Fax: 607-277-7771; <http://servienteglassstudios.com/> ]

## **III. PROJECT PLANNING CONCERNS**

- A. Historic Status - This building is listed on the National Register of Historic Places. All the proposed worksopes in this report are being set-up in compliance to the Secretary of the Interior's Standards for Treatment of Historic Properties which may be a requirement of any future grants or applications for historic preservation tax credits. In this way the proposed scopes would be sympathetic to the building's character and in accordance with established guidelines for repairs or replacements of areas of roof.
- B. In the event that State or Federal funding is applied for to underwrite the work of this proposed roof project for this National Register listed property then it may be necessary to secure the pre-approval of the NYS Office of Parks, Recreation and Historic Preservation or the National Park Service for all proposed work before starting any repairs or rehabilitation.

We caution that it has been our firms' experience that if the appropriate approval procedures for state and federal grant funds or for historic preservation tax credits are not followed carefully the project funding or tax credits could be withdrawn. Consequently, it is important to identify and comply with all required reviews and program requirements in advance and to design the overall final project for compliance with the applicable standards for historic properties.

- C. This report will not eliminate the need for more intensive professional involvement with this proposed project or projects prior to the start of any construction; namely the preparation of construction documents stamped and signed by a licensed professional.



## IV. Description of existing conditions & recommendations – updated from Zausmer-Frisch 2005 report.

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We have taken the text of the 2005 roof report prepared by Mr. Toby Nadel of Klepper Hahn & Hyatt Engineering firm for Zausmer-Frisch-Scruton & Aggarwal and will augment it here with our 2017 observations. We note that architect Toby Nadel, AIA, is considered an expert in this particular field of roof system analysis and we are pleased to work with his information.

We will supplement the KHH information with our statements in red to distinguish the 2017 update. The 2005 information is both in italics and in quotation marks.

### ***“Summary and Building Description (outline chronology)”***

#### ***“Main Church”***

1. *Date of Construction: 1901-1906. (The addition to the rear (west) is believed to be older, and was the original church; it is apparently unoccupied at this time, and was not inspected.)*  
*[The complex was built in two parts – the original church now called the Chapel in 1902 and the larger west Sanctuary completed in 1907 – per the NR nomination by Dr. Sam Gruber and Mr. Bruce Harvey.]*
2. *21 April 1994 – date of report of roofing conditions by Associated Architects (Richard A. Wicks, Jr.) – he indicated the clay tile roofing was the original at that time, many leaks, flashing problems, and 11 items of repair totaling almost \$90,000. Clay tiles were only partially replaced as needed – 800 to 1000 new tiles were estimated. From what was written on this report, I assume most, if not all, of this work was undertaken at that time. A copy of the report received is appended. [we have not provided a copy of this earlier 1994 report with this update.]*
  - a. *Other data, not received, indicates that roofing work was performed by Fred Tanner/ 28 King Street/Port Byron, NY 13140, and/or T&H Roofing, same address on or about 11/3/93. I further assume he assisted the Architect in the scope and costs of the report, and was subsequently awarded the work. [Mr. Fred Tanner passed away in 2006 and could not be consulted on this but we believe that Mr. Nadel is correct.]*
3. *4 April 2005 – On site roof evaluation by T. Nadel.*
  - a. *Persons at the church during my inspection:  
Ken Saya and J. Mattice – Commercial Roofing Co. – for cuts and repairs  
Diana Turner for church access  
Reverend Beth DuBois – minister for the First Presbyterian Church of Syracuse”*

***“General – 64 photos taken in the field are appended on three pages as thumbnails [We have included our 2017 photos of the roof areas as an appendix to this report but did not copy the 2005 photos into our report.]***

1. *Interiors – were inspected initially[All of this interior damage will be covered in the Building Condition report but in general these leaks have caused additional interior damage to plaster ceilings, walls, floors and other components.]*
  - a. *Areas of leakage primarily appear to be related to the lower valley areas of the central sloped clay-tiled roofs.*
  - b. *Partial collapse and temporary repairs are noted in the northeast [photo 0031] and southeast [photo 0033, 0034] corners. These areas were not inspected, as deemed too dangerous to walk on.*
  - c. *Other smaller leaksites are noted [photos 0020, 0024].*
  - d. *There is a major active leak below the southwest corner, roof three [photos 0038, 0039].*
  - e. *There is a suspicious loss of ceiling, where a major chandelier hangs [photos 0028, 0029].*

2. *Small, long, narrow roof between the main church to the east and the older building to the west. ”*  
*[We believe Mr. Nadel is addressing the roof near ground level over the interior ramp which gives access to the lower level meeting hall of the main church and its dining hall ]*
  - a. *“Water is ponded [photo 0040], and this area has a complex of sheds and cellar access [photos 0062, 0063].”[This condition has worsened since 2005 to the point of serious leaks with water ponding on the interior floors and water damage to ceilings, walls and light fixtures in this area.]*
3. *Low-sloped roofing review*
  - a. **Roof 1 – porte cochère to the south**
    - i. *Photos 0014, 0015, 0016, 0018.*
    - ii. *Roof drain at wall is promenade type – partially plugged [photo 0014].*
    - iii. *Cut taken indicates from newest roof (EPDM + ¾” insulation) on many older roof – bottom roof is of coal-tar pitch what appears to be the original tin metal roof. Total sample thickness to time about 2 ¾”.*
    - iv. *EPDM roof is improperly installed, against what is considered proper practice and good workmanship – seams are not fully sealed, not caulked, and open to water entry; no base securement appears to have been used. No metal counters were used at stone work*
  - b. **Roof 2 – to the southwest [northwest]** *[We believe Mr. Nadel or his staff mistakenly labeled this roof as southwest when his own roof diagram clearly shows this Roof #2 as northwest.]*
    - i. *Photos 0041, 0042, 0043, 0044, 0045.*
    - ii. *Roof drain at corner is conventional type – partially plugged [0041]. Roof water is added from a north-side gutter [photo 0044].*
    - iii. *Cut taken indicates from newest roof (EPDM +1” insulation, which is WET) on many older roofs – bottom roof is of a BUR on perlite insulation on what appears to be the original resin paper on wood roof deck. Total sample thickness is about 3” [photo 0045]. [BUR is an abbreviation for ‘built-up-roof’]*
    - iv. *EPDM roof is improperly installed, against what is considered proper practice and good workmanship – seams are not fully sealed [photos 0042, 0043], and are likely to admit water. Seams not caulked; no base securement appears to have been used. No metal counters were used at stone work.*
    - v. *Where the roofing goes to the clay tile roofing, the wall is EPDM covered for about 6’ in height. There is not internal nailer, nailing, or securement noted. Below the clay tile a metal drip/counter is noted [photo 0044].*
  - c. **Roof 2 [3]– to the southwest** *[We believe that this also is mislabeled but it should be Roof 3 per his own roof diagram.]*
    - i. *Photos 0046, 0047, 0048, 0049, 0050, 0051, 0052, 0053, 0054, 0055, 0056, 0057, 0058, 0059, 0060, 0061.*
    - ii. *One central roof drain which appears to be functioning well, is of conventional type.*
    - iii. *Cut taken indicates from newest roof (EPDM + 1” insulation) is similar to the others. Total sample thickness is about 3” [photo 0058].*
    - iv. *EPDM roof is similarly improperly installed, against what is considered proper practice and good workmanship – seams are not fully sealed [photos 0051, 0052], and are likely to admit water. Seams not caulked; no base securement appears to have been used. No metal counters were used at stone work [photo 0056].*
    - v. *Where the roofing goes to the clay tile roofing, the wall is EPDM covered for about 8” in height. Unlike the higher roof #2 there is no metal drip/counter flashing noted [photo 0055].*
    - vi. *There are three brick chimneys within this area which all need repair/replacement in the near future [photos 0054, 0055, 0056]. [This is still relevant today only more so.]*

d. **“Miscellaneous general items**

- i. A partial tile was furnished by the reverend. It is not labeled or imprinted to verify its source of manufacture. *[we believe the clay roof tile to be of Celadon manufacture and they are still in business and can furnish the shapes for any damaged or missing clay tile for these roofs.]*
- ii. The stone copings mentioned as capped in the 1990's data are noted as simple shapes without the usual wood blocking, cleats and/or end closures [photo 0008].
- iii. Stone is aging, but in generally good condition. There are a few specific crack locations which will require attention (not sealants photo 0012) and an overall repointing will be of value. *[We note that for 2017 we have found several areas where the stone walls of the earlier 1902 Chapel are delaminating and pose a problem in certain window sills – I address this under the main building report.]*
- iv. Accurate dimensions are not known; there are no original drawings. The Architect's 1994 sketch was used for approximation, but is neither complete nor very accurate.”

“Comments

1. **Clay tile roofs**

- a. Roofs are, from the history, probably mostly the original roofs, 100+ years old, with the lower edges (“800 to 1000”) tile replaced. *[We agree with Mr. Nadel's observation.]*
- b. The new installation as installed does not permit reroofing below, without disturbing the new tile. (Whether or not the added tile are properly underlaid or flashed is unknown; the leaks suggest they are not.) *[We believe that Mr. Nadel is correct in that the clay tile did not have proper underlayment and also that the question of flashing remains unknown.]*
- c. Since there are some leaks (possibly old stains, possibly new) in the upper tile reaches, and/or the new flashings/valleys. There may be upper tile problems as well. *[A view from an attic type space over the main church sanctuary reveals that the wood subdeck is in relatively good condition and only deteriorated at places where there is damaged clay tile or missing clay tile.]*
- d. In view of all of the above, you will be facing a complete tile replacement. *[We disagree that this still needs to be done – eventually and at some point in the future this will be a good idea – however at this present time funding should be devoted to more urgent issues.]*
- e. Budget cost, main building only *[We believe that both the main roof and the 1902 Chapel roof should not have the clay tile reinstalled based on the good condition of the wood subdeck observed in the attic space over the Main building. However repairs should still be made for damaged or missing clay tile on the roofs of the two buildings.]- \$180,000 (Assuming flat projected area of 6,000 sf, 12:12 slope, 10% waste, new copper flashings, new underlayments, no decking problems). [We are including our updated estimate for repairs under the Section for Budget.] [We believe that at this point there are areas of wood roof deck that need replacement where the clay tile was missing or damaged and allow water to leak and damage the wood deck – we will assume for the budget that approx.. 5% of total roof deck must be replaced at those areas only.]*
- f. If this is the older original 100 yr. old tile, it is likely that the underlayment paper used is deteriorated and non-functional.” *[We agree with Mr. Nadel's assessment on the underlayment paper.]*

2. **Low sloped roofs [aka ‘flat’ roofs]**

- a. Inventory; areas approximated.
  - i. 4 main roof corners 2000 sf
  - ii. Porte cochère 240 sf
  - iii. Main roof tower 480 sf (condition unknown – unreachable) *[We were not able to view this roof area from the motorized lift and but we know that David Rowe was able to gain direct access to this tower roof and he stated that this does not currently leak and that it is in relative good condition.]*
  - iv. Low flat roofs near grade between new and older areas 620 sf +/-

- b. Assuming replacements are needed for areas i)+ii)+iii) above, total square footage is 2,960, say 3,000 square feet. *[we believe that the area marked iv) should also be replaced which increases this amount of SF to 3340 SF.]*
- c. Each area will require its own virtual standalone setup.
- d. Suggested cost allowance 3,000 x \$25 \$75,000 *[We have provided an updated estimate for this under the Section for Budget.]*
- e. Plumbing – 5 new drains and piping budget \$2,000 each \$10,000  
*[We are going to address updated estimated costs in Section VI. Project Budget.]*

### 3. Summary of costs

Clay tile roof	\$180,000
Low sloped roofs	\$85,000
TOTAL	\$265,500

*[We are going to address updated estimated costs in Section VI. Project Budget.]*

### 4. NOT INCLUDED

- a. Asbestos removals, if any. *[According to tests and lab reports conducted by HSE Consulting Services, LLC, there were no roof items tested for asbestos.]*
  - b. Structural corrections – major or minor, decking etc. *[we have included some decking replacement at the handful of locations where clay tile is damaged or missing.]*
  - c. Stone masonry work (no estimate possible without a scope of work).
  - d. Windows, doors. *[These are addressed in the Building Conditions Report.]*
  - e. Interior finishes. *[These are addressed in the Building Conditions Report.]*
  - f. Old West building and the low connecting link. *[Mr. Nadel did in fact include an evaluation of this roof in a second report contained within the 2005 Zausmer Frisch document.]*
5. Actual costs will be determined by the final design, and scope of work for the above items actually set. *[Our direction from the Greater Syracuse Land Bank to Holmes King Kallquist for the scope of repair was to anticipate a historic renovation with attention paid to historic features being restored for possible grants or a tax credit project with compliance with National Park Service rules for adherence to the Secretary of the Interior's Standards for Treatment of Historic Properties.]*

### Original Chapel Roof [1902 per NR nomination]

*[- this information was added by Mr. Nadel in a second report but also published in the 2005 Zausmer Frisch document. This would have been the “Old West building” that Mr. Nadel mentions above.]*

- 6. Upper Roof Area, West Section, North Side – See Photos 002 and 012.
  - b. There is a second floor roof area, hipped, covered with metal roofing, which subsequently, was coated with “black stuff” (roofer).
    - 1) Comments
      - i. My experience is that metal roofing, once coated, in non-repairable *[We agree]*
      - ii. Area appears to be about 8'x50' = 400 square feet
      - iii. Height to lower edge +/- 20' estimated
      - iv. Height to high point of roofing (North brick wall) +/-23'  
*[Our observations for 2017 of this area include locations where openings and crevasses have occurred in the aged coating which in turn allows water penetration.]*
- 7. HVAC Unit Support System *[- i.e. exterior platform]*
  - c. There is a platform above this metal roofing area; it was apparently constructed after the metal roofing was installed. There are 4 supports bolted to the outer North brick wall, with horizontal beams from the supports forming the platform of dimensional wood lumber. *[This lumber is now aged and deteriorated]*

- 1) *Comments*
  - i. *Platform bottom appears to clear metal roof by about 1' at inner north brick wall.*
  - ii. *Reroofing below will probably require platform removal, mechanical disconnects, etc., first. [We agree this needs reroofing.]*
  - iii. *Platform area estimated at 8'x16' = 130 sf*
8. *Probably Issues*
  - d. *Coatings will probably need testing for contents. [This coating may contain asbestos and should be tested - we agree]*
  - e. *Interior conditions are unknown. [we also did not have access to the attic space above the auditorium space of the Chapel.]*
  - f. *Because metal was coated, prior leakage was likely. [We agree with this evaluation for the hipped metal roof at the north side.]*
9. *Costs [Chapel Roofs – aka Old West building aka 1902 Chapel]*
  - g. *A new quality metal roofing can be installed for a budget of \$8,000. [Please see Section on Budget for repair and replacement costs for this hipped metal roof.]*
    - 1) *Add for special insulations, snow guards, drainage, etc. [We agree with these additions to cost but also, the wood eaves at the west side of the Chapel are very deteriorated and need major repairs; inclusive of any gutter work.]*
  - h. *Add for structural work, if any. [Any platform replacement should have an engineer evaluate it for structural loads.]*
  - i. *Add for new mechanical systems, and related connective services. [New mechanical systems are covered under the Building Conditions Report.]*
  - j. *Without further study, and a preliminary design for the new occupancy, a structural check, mechanical evaluations, etc. one cannot give accurate answers. Estimates need inflation at this time for [any] unknown, and any budget will need contingencies for surprises during construction, and are highly recommended. [We agree with this advice.]*

***-END OF PRELIMINARY REPORT-  
[This is the end of the two KHH reports only].***

## V. REHABILITATION NEEDS AND PRIORITIES

The following table summarizes the proposed roof workscopes and suggests the relative priorities that should be given to help with funding choices. The top priority being number one of course [immediate].

ROOF WORKSCOPES		PRIORITY
1.	Replace roof at the Southeast flat roof area [adjacent to Tower] where a major leak is located – may include roof deck replacement and roof rafter repairs; replace also the Northeast flat roof area where another major leak is located - include new roof drains at both roofs.	1
2.	Repair of stone masonry at the chimney and flashing at the Northeast	1
3.	Replace all flat roof areas with new membranes and new roof drains; include the small flat roof area near the ground located over the interior ramp – between the Main building and the Chapel building.	1
4.	Repair damaged clay tile locations and replace missing clay tile at the clay tile roofs of both buildings	2
5.	Repair 3 brick chimneys at the Southwest flat roof area including flashings	3
6.	Replace hipped metal roof area at the rear of the Chapel	3



## VI. PROJECT BUDGETS

The following are pre-design probable cost estimates for budgeting purposes :

A.

1. Replacements of flat roofs at the Northeast, Northwest, Southeast and Southwest, Porte cochère flat roof, small narrow roof between the Main building and the Chapel, [total approx.. 3,340 SF x \$25] plus roof deck replacement at damaged areas [say 6 areas with an allowance of approx. \$5,000; also give an additional allowance for misc.]..... \$ 90,000
2. Replacement of 5 roof drains and related plumbing..... \$ 10,000
3. Replacement of the hipped metal roof at the northside of the Chapel,..... \$ 9,000
4. Repair of 4 chimneys..... \$ 5,000
5. Repair of damaged clay tile or replace missing clay tile and related roof deck replacements at these locations ..... \$ 6,000
6. Repair of wooden eaves and rain gutters at Chapel..... \$ 10,000

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**ROOF TOTAL      \$130,000**

**NOTE:**

**Not included in this budget are any costs for testing or abatement of hazardous materials related to the roof systems.**



## Appendix “A”– Photos of Roof elements



**Figure 1 – Northeast flat roof area ; undersized roof drain; improper membrane installation.**



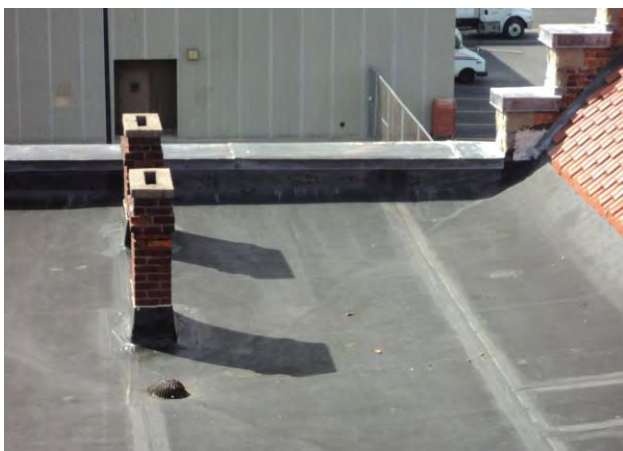
**Fig 2 – Close-up of NE chimney in need of repair**



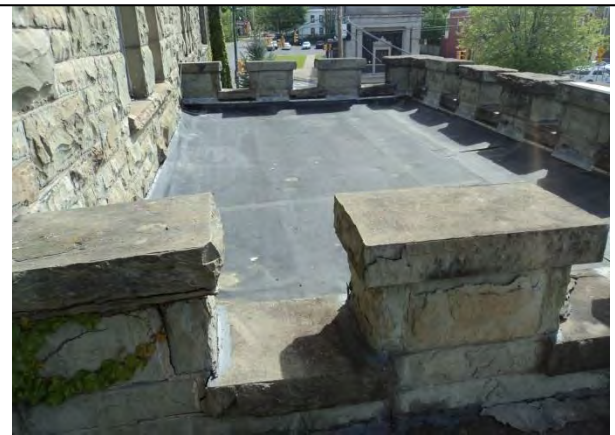
**Figure 4 – Southeast flat roof; membrane wrinkles**



**Fig 3 –NW flat roof area; undersized roof drain**



**Figure 5 – SW flat roof area**



**Figure 6 – Porte cochere flat roof area**



**Fig 7 - Platform over hipped coated metal roof at northside of Chapel**



**Figure 8- deteriorated wood eave and gutter system at westside of Chapel.**



**Figure 9 – Attic area decking above main Sanctuary – in good condition under the clay tile.**



## Appendix “B”– Aerial Photos of Roof

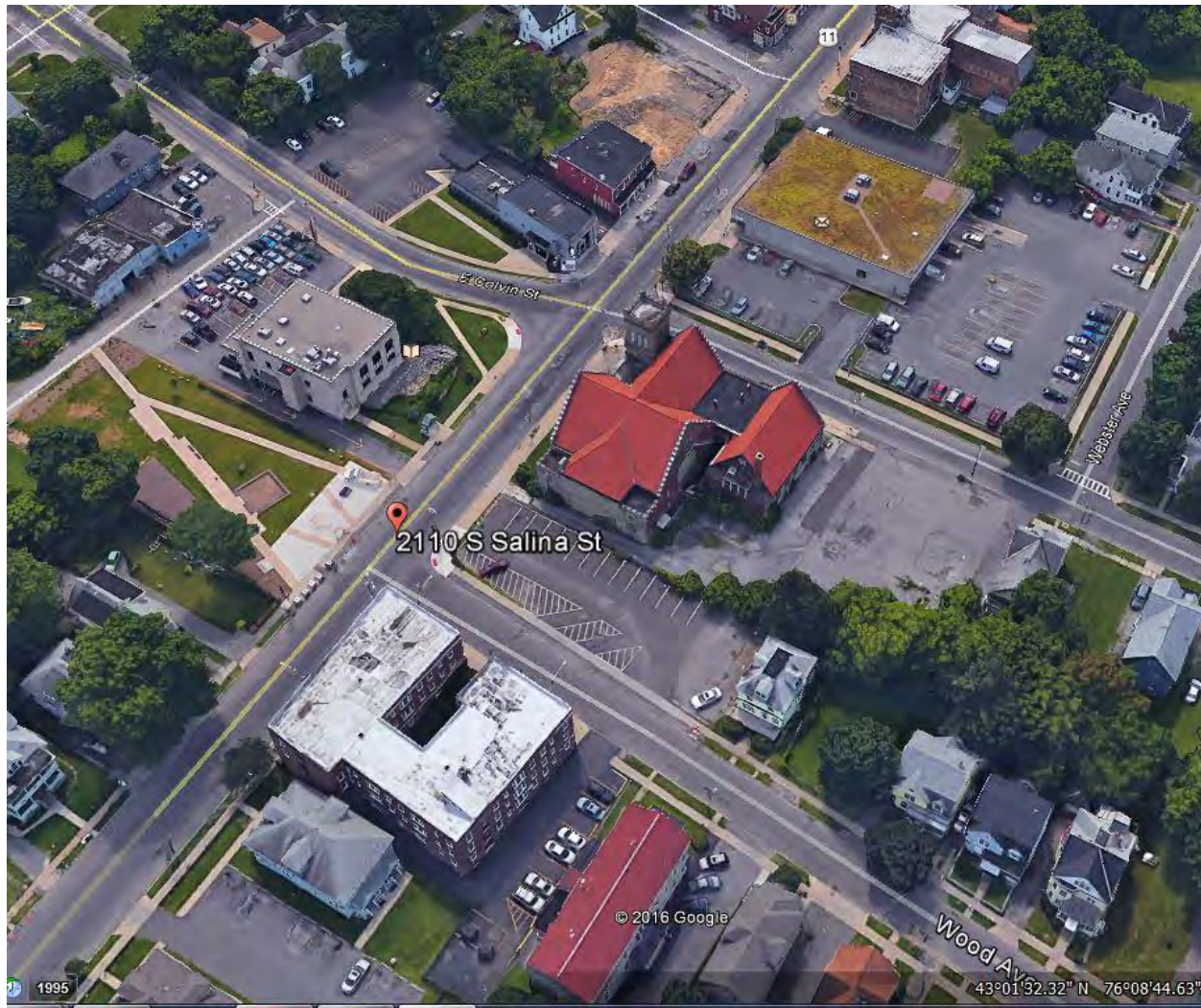


Figure 1 – Aerial view of Church [red clay tile roofs] looking Southeast from Google Earth



**Figure 2 – Aerial view of church looking northwest – from Google Earth.**



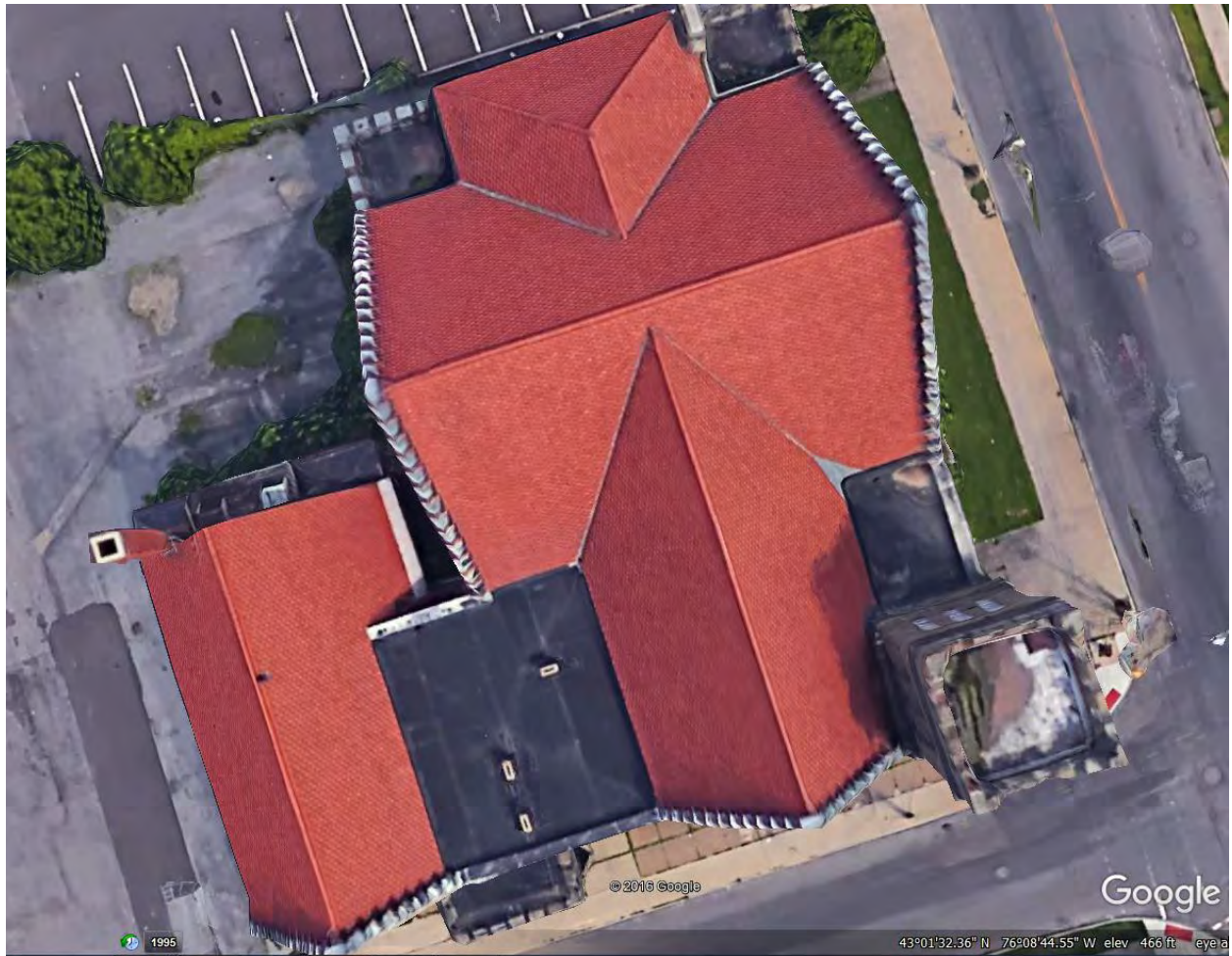


**Figure 3 – Aerial view of Church looking Southwest – from Google Earth.**



**Figure 4 – Aerial view of Church looking southeast – from Google Earth.**





**Figure 5 – overhead view of Church roofs – from Google Earth.**



**United States Department of the Interior**  
National Park Service**National Register of Historic Places Registration Form**

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

**DRAFT****1. Name of Property**Historic name: South Presbyterian Church

Other names/site number: \_\_\_\_\_

Name of related multiple property listing: \_\_\_\_\_

(Enter "N/A" if property is not part of a multiple property listing)

**2. Location**Street & number: 2110 South Salina StreetCity or town: Syracuse State: NY County: OnondagaNot For Publication: ☐ Vicinity: ☐**3. State/Federal Agency Certification**

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this X nomination    request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property X meets    does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

   national    statewide X local

Applicable National Register Criteria:

   A    B X C    D\_\_\_\_\_  
**Signature of certifying official/Title:****Date**\_\_\_\_\_  
**State or Federal agency/bureau or Tribal Government**In my opinion, the property    meets    does not meet the National Register criteria.\_\_\_\_\_  
**Signature of commenting official:****Date**\_\_\_\_\_  
**Title :****State or Federal agency/bureau  
or Tribal Government**

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#### 4. National Park Service Certification

I hereby certify that this property is:

- ☐ entered in the National Register  
☐ determined eligible for the National Register  
☐ determined not eligible for the National Register  
☐ removed from the National Register  
☐ other (explain:) \_\_\_\_\_

---

Signature of the Keeper

Date of Action

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#### 5. Classification

##### Ownership of Property

(Check as many boxes as apply.)

- Private: ☐  
Public – Local ☒  
Public – State ☐  
Public – Federal ☐

##### Category of Property

(Check only **one** box.)

- Building(s) ☒  
District ☐  
Site ☐  
Structure ☐  
Object ☐

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**Number of Resources within Property**

(Do not include previously listed resources in the count)

Contributing	Noncontributing	
<u>1</u>	<u>0</u>	buildings
<u>0</u>	<u>0</u>	sites
<u>0</u>	<u>0</u>	structures
<u>0</u>	<u>0</u>	objects
<u>1</u>	<u>0</u>	Total

Number of contributing resources previously listed in the National Register 0

**6. Function or Use**

**Historic Functions**

(Enter categories from instructions.)

RELIGION/Religious Facility

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Current Functions**

(Enter categories from instructions.)

VACANT/NOT IN USE

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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## 7. Description

### Architectural Classification

(Enter categories from instructions.)

LATE 19<sup>TH</sup> AND 20<sup>TH</sup> CENTURY REVIVAL / Romanesque

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**Materials:** (enter categories from instructions.)

Principal exterior materials of the property:

Walls: Limestone, brick,

Roof: terra cotta (tiles)

### Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

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### Summary Paragraph

South Presbyterian Church is located on a 0.77 acre parcel at the northwest corner of the intersection of South Salina Street and Colvin Street in the City of Syracuse, Onondaga County, New York. The church is an L-shaped masonry building consisting of a 1902 chapel and much larger sanctuary built in 1907. The chapel was entirely incorporated into the larger church complex. The exterior and the sanctuary underwent few changes in more than a century of use except for the removal and replacement of stained glass windows in 2008 (see below). The church retains a high level of architectural integrity from its period of significance. The church is situated in a mostly residential neighborhood contemporary with the church. Commercial and institutional buildings (stores, school, theater, bank, and library) were also situated close to the South Salina and Colvin Street intersection. Some of these structures survive. The

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church and this cluster of buildings are located three blocks south of the South Salina Street Historic District (NR listed 1986).

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## Narrative Description

South Presbyterian Church is located on an large lot at northwest corner of South Salina and West Colvin Streets in Syracuse, New York. The lot includes the original rectangular mid-block lot on West Colvin Street that contained the first chapel and the larger adjacent corner lot purchased later. These lots were combined in 1905 for the construction of the existing church. An aerial view of the building clearly shows how the pre-existing chapel was incorporated into the new design when the lots were joined.

South Salina Street is U.S. Route 11, the primary north-south route in the region before the completion of Interstate I-81. South Salina Street is still a major artery for traffic between the Southside and downtown Syracuse. Thus, until the opening of the I-81 highway in the early 1960s, the church was passed by almost everyone entering the city from the south, whether heading to the downtown area or passing through the city to travel further north.

South Salina Street was both the formal and actual dividing street between the city's east and west. Colvin Street, which runs east-west, is one of the few major arteries on the Southside that nearly completely traverses the south side from east to west. At South Salina Street, Colvin jogs slightly to the north when heading east, so that the corner on which South Presbyterian is located projects beyond the expected street line to be fully visible when approached from East Colvin Street. A description of the time described the site as "unquestionably the best corner lot in the southern part of the city. East Colvin Street, by reason of a jog in the street, opens directly opposite the lot."<sup>1</sup>

South Presbyterian Church is a large two-story, L-shaped masonry structure of brick with a stone foundation and Genesee Valley bluestone facing on the east, west and south elevations. A square tower imbedded into the cross-gable plan of the structure marks the building's important corner site. Tall gable ends with large windows face each of the main streets: South Salina (east elevation) and West Colvin (south elevation). The church is built almost to the lot line on the east and south sides. A shallow

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<sup>1</sup> "The \$60,000 Edifice Under Construction for the South Presbyterian," *The Syracuse Herald*, (November 11, 1905)

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landscaped strip of property separates the sidewalk from the building. An expansive parking area to the west and north of the church building is part of the lot.

The ground plan of the church can be seen as two unequal joined rectangles, with their longest side facing West Colvin Street. Aerial views show a different configuration. The sanctuary wing, on the corner of South Salina and West Colvin Streets, is oriented south to north, and is built on a cross-gable plan with the main sanctuary situated where the roofs meet. The aerial view shows this main section of the building as a cruciform plan, but on the ground, the cross has been squared.

The spaces between the arms of the cross are filled with subsidiary building parts, so the church appears a single mass from the street. The square tower is tucked between the east and south arms of the cross; square offices and robing rooms are tucked on either side of the north arm; and a larger entry way and transitional space is built facing West Colvin Street, between the west and south arms. The structure includes stairs that link to the large half-basement and to upper levels adjacent to the sanctuary, the classroom above the entryway, and the former chapel building, which continues to house a large chapel space as well offices and classrooms. Each arm of the sanctuary wing ends in a large stepped gable filled with windows. The two principal sides of the church face the major streets and present monumental facades.

To the west of the sanctuary were ancillary spaces that could be entered from West Colvin Street, where an entrance is marked by an impressive stone porte-cochere. Inside this entrance, steps lead down to a large half basement area, or up a half level to a vestibule area and access to office space, the chapel, and an internal wooden stairway leading upstairs to classrooms and meeting rooms as well as access to the sanctuary balcony from the west.

### **Exterior**

South Presbyterian Church is brick construction over a stone foundation, with stone facing of Genesee Valley bluestone (also known as Warsaw blue limestone) rough-cut in different size rectangular blocks and tightly laid with thin mortar beds in an uneven pattern. Genesee Valley bluestone is frequently referred to as a limestone, but it is really a fine-grained, dark, blue-gray sandstone from near Portageville, quarried by the Genesee Valley Bluestone Co. at the time South Presbyterian Church was built.<sup>2</sup> The

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<sup>2</sup> On New York state bluestone see *56th Annual Report*, New York State Museum and Science Service (1904).



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cornerstone is inscribed in raised lettering: "South Presbyterian Church, 1901-1906." The roof is covered with glazed red tiles. According to an early description of the church before it was completed, the roof was intended to be a slate, but the earliest photos of the church show the tile roof, suggesting that plans changed before the roof was completed.<sup>3</sup>

The South Salina Street elevation consists of a dominant gable wall with windows, slightly off center. This wall, the east wall of the sanctuary, is articulated with seven rectangular windows on the ground floor level; a large centrally placed arched window has a sill of that corresponds to the balcony level within and is flanked by two small windows and three small arched lancet windows with louvers higher in the gable at the attic level. The ground floor windows are a group of five immediately under the great arched window, and the group is flanked by similar single windows set at a slight distant on either side. These windows originally had colored glass panes, which have been removed.

The large arched window is filled with stone tracery including a central wheel window set over four vertical window sections, the upper edges of which terminate in scallop patterns. The great arch of this window is built of clearly articulated voussiors, each of which project slightly from the plane of the exterior wall. The two flanking windows are each set apart and are aligned above the similarly separate rectangular windows on the level below. The masonry between the group of five ground floor rectangular windows and the sill of the great arched window is composed of six rows of square cut stone blocks, common in Romanesque buildings. At the top of the wall the gable is stepped, with each step terminated by a flat stone cap that slight overlaps the wall edge.

The South Salina Street wall continues toward the corner tower at Colvin Street. The short space between is a two-story elevation with three rectangular windows below and three arched windows aligned above. Between these levels is the same masonry of rows of squared blocks used between the other windows. The top of this wall and roof line is articulated with a horizontal course with rounded stone dentils.

The West Colvin Street elevation is nearly identical to South Salina Street. Here, the large gable wall abuts the tower on the east. At the top of the wall the gable is stepped, with each step terminated by a flat stone cap that slightly overlaps the wall edge. The three levels of gable wall windows are the same as before. The great arched window is the same as on the east (South Salina St.) except for a row of five

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<sup>3</sup> "The \$60,000 Edifice Under Construction for the South Presbyterian," *The Syracuse Herald* (Nov. 11, 1905).

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basement windows at ground level. These are similar to the ground level windows and light the rooms below. The inclusion of the basement windows forced the raising of the level of the ground floor windows which correspond to a parlor/library room within, so the distance between the tops of these windows and the bottom of the great arch windows is less, and there is no use of distinctive masonry. To the west of the gable wall is a short continuation that fills the space between the new church and the original chapel. Here, as on South Salina Street, is the same arrangement of three rectangular windows and three arched windows; the wall between levels of windows is treated with rows of squared stones.

To the west of this section of wall is the most distinctive element of the West Colvin street elevation. It prominently features a projecting porch in front of an entrance way. This has the form of a porte-cochere but, because it is situated on the sidewalk, it is designed for pedestrians rather than carriages or automobiles. The porch marks a ground level arched doorway that leads directly to the office, classroom and chapel space of the church, including interior staircases that lead to all levels. The porch marks the separation point of the older and newer sections of the building, even though these have been integrated into a single design.

## **The Tower**

Positioned at the southeast corner of the building is a sixty-foot-tall, three-level square corner tower (West Colvin and South Salina Streets. At street level its serves as a main entrance. Arched doorways with raised voussoirs are on the south and east sides, each reached by a short flight of five steps from the sidewalk. Stone buttresses protrude from the three exposed corners of the tower. At their bases, these extend toward the street and narrow as they rise to the height of the tops of the doorway arches, where they join flush to the tower wall.

Inside, stairs lead to the second story vestibule area. Outside, this is articulated with three tall, narrow windows with short, flat lintels on the south and east sides, and doorways to the sanctuary balcony on the west and north. A third tower level, indicated on the exterior by horizontal corbels on the corners topped by a horizontal molding across the entire wall width, reaches above the roof line. Traditionally this space would have housed church bells. All four sides are articulated with three tall arched windows, filled with louvers. It is not clear whether this screened room ever held bells at South Presbyterian, or whether the space is symbolic or vestigial. The very top of the tower is articulated with a strong horizontal molding supported by stone round-edged dentils. Above this is a crenulated parapet wall.

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## Interior

The sanctuary, which occupies the entire northeast section of the church, is an auditorium plan of one large open space with a wide front part at the north end and a narrower rear at the south end. Separate plaster cross vaults cover these spaces divided by a high wide arch. The rear, southern space is covered with a barrel vault, and in the front part, the center areas of the main sanctuary are surmounted by a plaster cross vault, while slightly flattened barrel vaults flank this space and cover the balconies. The sanctuary has fine woodwork throughout, almost all of which is intact and in good condition.

The balconies on three sides of the sanctuary are connected. This continuous structure abuts the inner walls and is supported by thin columns. The balcony extends around the entire sanctuary, except where the pulpit platform and large pipe organ fill the north side, with the dark mahogany panels taking on a sinuous ribbon-like form that visually ties the space together. Enclosed wooden stairways with solid wood sides are continuations of the balconies, connecting the pulpit platform to the balcony at the north. The balcony level slopes slightly toward the sanctuary center at the same grade as the floor of the sanctuary.

There is an evident rake to the sanctuary floor, which slopes from the rear northward toward the pulpit platform. The curved oak pews are arranged in semi-circular rows divided by a central aisle. The floor is partially carpeted, with runners in the aisles and carpet on the pulpit steps.

The pulpit platform is a stage-like structure that partially protrudes into the sanctuary space and partly recedes into the recessed northern sanctuary wall. The front of the platform is faced with wood similar to that of the balcony. Behind the pulpit platform, the lower part of the wall is covered with wood paneling. The upper part is filled with the large decorative pipes of the organ and entirely fills the space up to the curved moldings under the vault. The organ loft is directly behind the pulpit. The rear of the sanctuary opens via sliding original wood paneled doors on the west wall into a parlor area, which retains its original built-in bookcases and cabinets. One interesting feature is a dumbwaiter that can descend to the kitchen directly below in the basement.

The rest of the church interior consists of a basement beneath the sanctuary and a west chapel used as a community room (west side of building). Internal changes were made to the chapel in the 1960s (drop

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ceiling, carpeting and interior walls clad with plywood). Removal of portions of the drop ceiling and wall panels reveal extant historic fabric. The stair from the entrance to the door is original and features a wood panel balustrade at the upper landing, which opens into a hall with access to the parlor, sanctuary and chapel. The basement consists of a kitchen area with a pass-thru space in the wall separating it from a large, open dining area. The areas are utilitarian in nature and contain no outstanding historic features.

## **Windows**

The sanctuary originally had two tiers of art glass windows produced by Tiffany Studios. According to records, none were memorial windows and the church sold all but one of the windows in 2008 (small, rectangular window in the parlor). The Tiffany windows were almost entirely geometric, with the inclusion of few Christian symbols, including a cross and the abbreviation "HIS." There were no figures, narrative or landscape scenes of the type for which Tiffany was famous and no large panels. New stained glass windows have been installed to replace some of the larger missing windows. The remaining windows are clear glass.

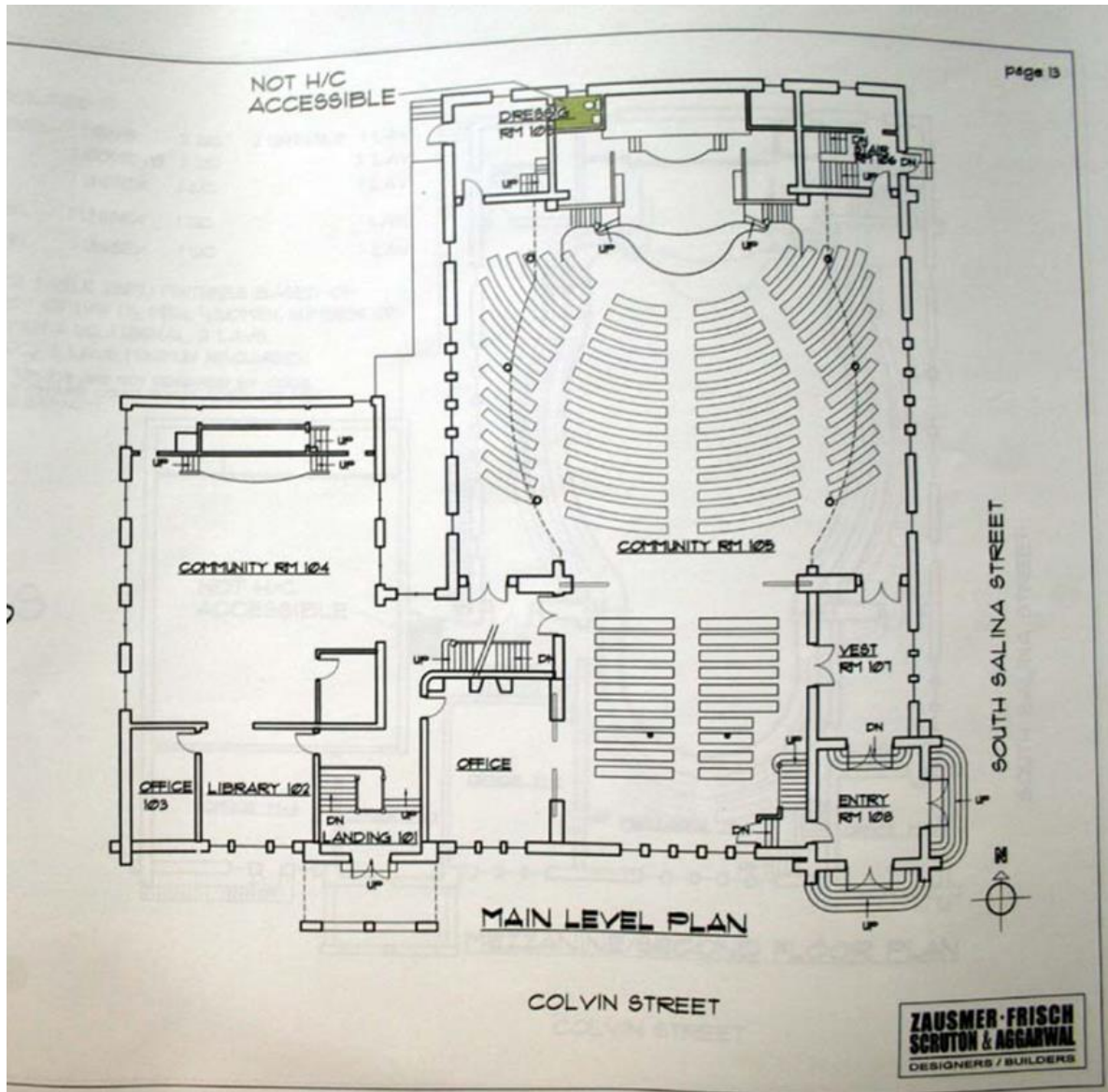
South Presbyterian Church

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South Presbyterian Church. Plan of main sanctuary level.

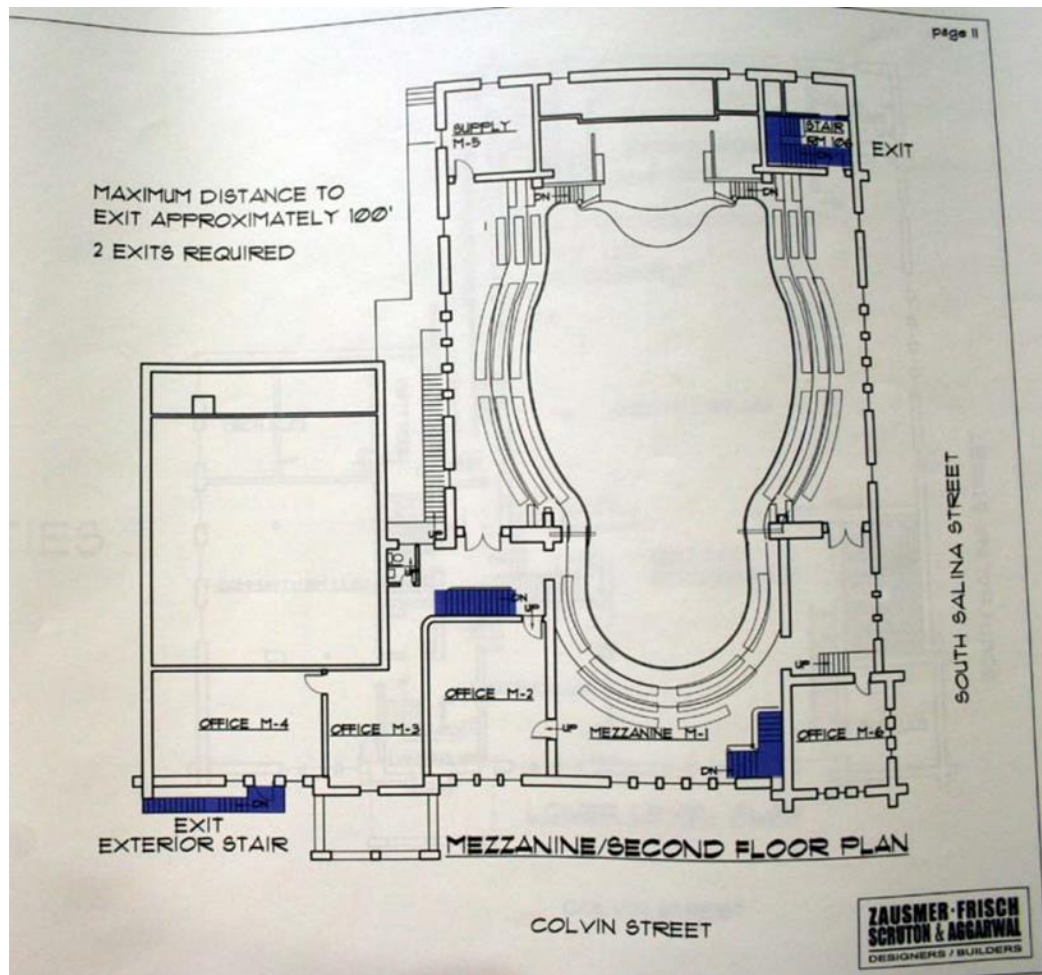
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South Presbyterian Church. Plan of balcony level.

### Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

☒

A. Property is associated with events that have made a significant contribution to the broad patterns of our history.

☐

B. Property is associated with the lives of persons significant in our past.

☒

C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack

☐



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individual distinction.

D. Property has yielded, or is likely to yield, information important in prehistory or history.

**Criteria Considerations**

(Mark "x" in all the boxes that apply.)

- ☐ A. Owned by a religious institution or used for religious purposes
- ☐ B. Removed from its original location
- ☐ C. A birthplace or grave
- ☐ D. A cemetery
- ☐ E. A reconstructed building, object, or structure
- ☐ F. A commemorative property
- ☐ G. Less than 50 years old or achieving significance within the past 50 years

**Areas of Significance**

(Enter categories from instructions.)

Architecture

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**Period of Significance**

1902-1907

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**Significant Dates**

1902, 1907

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**Significant Person**

(Complete only if Criterion B is marked above.)

N/A

**Cultural Affiliation**

N/A

**Architect/Builder**

Lacey Sanford O. (1856-1927) (architect)

Lacey, Halbert Alonzo (1879-1909) (architect)

Badgley, A. E. (builder)

**Statement of Significance Summary Paragraph** (Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

South Presbyterian Church is eligible for listing in the National Register of Historic Places under Criterion C in the area of architecture as a large, intact Romanesque Revival church that dominated the corner of West Colvin and South Salina Streets since it was opened in 1907. The congregation of South Presbyterian Church was one of the largest and most dynamic in the city throughout much of the twentieth century and the congregation's history was intertwined with that of the Southside neighborhood of the city of Syracuse. The church quickly became a landmark with its high style religious building, designed by prominent Binghamton architects S. O. and H. A. Lacey. The design and construction of the church addressed the functional requirements and the aspirations of a rapidly expanding congregation. The bold design by the Laceys made a strong urban statement establishing the church as the most outstanding and recognizable architectural form in the neighborhood with a spacious sanctuary that was as welcoming as it was inspiring as a worship space.

**Narrative Statement of Significance** (Provide at least **one** paragraph for each area of significance.)

**Historical Context**

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South Presbyterian church played a significant role in the early development of the Southside of Syracuse from the time of the congregation's official formation in 1901 until its demise in 2006. Already in 1900, a number of Presbyterian families in the south part of the city were meeting to discuss the need for a new church in what was one of the city's most rapidly developing residential areas. On November 15, 1900, a meeting at the home of Lucius M. Kinne, 1530 Salina Street, created an organization leading to the congregation's formation. A second meeting of the new congregation took place on December 13, 1900, in a house opposite the current site of the church. This new congregation then rented a vacant store at 1425 South Salina Street and held its first service there on February 3, 1901. The Rev. George Black Stewart, president of Auburn Theological Seminary, presided over this inaugural service. On March 31, 1901, the trustees met and drafted a petition to the regional Presbytery asking that the church be recognized. This was done quickly, and the church was formally established on May 17, 1901. The first service was held the same day at the Reformed Presbyterian Church when 70 members were united with the church and four were baptized.

The Rev. Murray Shipley Howland, then assistant pastor of the West End Church in New York City, was hired as pastor and preached his first sermon on May 25, 1902. In addition to hiring a pastor, the congregation constructed a modest two-story wood frame chapel on a stone foundation, with a square tower surmounted by gable front roof, dedicated July 6, 1902. This structure located on West Colvin Street, was later incorporated into the new and much larger church when it was built on what was known as "Luke Wells' lot," on the northwest corner of the intersection of South Salina and Colvin Streets.

Demand and enthusiasm for a substantial new church building to serve the developing Southside was so great that within five years of building the first church, the congregation was planning for a large building with a sanctuary capable of seating 1400 people. At the turn-of-the-twentieth century, South Presbyterian Church had the potential resources to fund such a venture. The new congregation saw a steady growth during its early years and its membership included some of Syracuse's most prominent citizens, including Oliver Murray Edwards, founder of O.M. Edwards Manufacturing Company, who chaired the building committee.

One of the earlier prominent Presbyterian churches in Syracuse was Park Church or, more formally, Second Presbyterian, which was organized in 1847 and its building completed in 1848. Park Presbyterian had a new impressive building designed by noted local architect Archimedes Russell in 1875. Following

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that, the First Presbyterian Church (founded in 1826) completed a substantial house of worship in 1904, designed by New York City architects Evarts Tracy and Egerton Swartwout.

No doubt the successful completion of these church buildings motivated Second Presbyterian Church's members to move forward with plans for a new, larger building. As with the other churches, well-known architects were selected for the project when the congregation hired S.O. & H.A. Lacey from Binghamton, New York. The architects presented a drawing in November 1905 that incorporated the earlier chapel into the new design, though they entirely altered its exterior to conform to the massing and stone cladding of the main sanctuary structure.<sup>4</sup> The cornerstone was laid May 27, 1906 in an impressive ceremony. According to the *Syracuse Herald*, more than 1,000 people attended the event. The cornerstone was placed by the pastor, the Rev. Murray Shipley Howland. The first service in the new church was held on April 21, 1907.

Like many affluent congregations of the day, the Syracuse Presbyterians planned to outfit the new church with art glass windows, chandeliers and other fixtures from Tiffany Studios of the New York City. At a meeting of the trustees held on September 17, 1906 the president of the congregation was authorized to enter into a contract with Tiffany Studios for glass and decorating of the church at the price of \$6,500. A contract of \$300 for the pulpit was also authorized. When the church opened in 1907, no mention was made of the Tiffany designed interior and or the windows, suggesting that the windows may have been installed after the building was inaugurated in 1907. At that time it had 582 members and seating for 1,100.

Following the appointment of the Rev. Dr. John Murdoch McInnis as pastor in 1913, the church grew rapidly in the first decades of the century, as the neighborhood in the area developed.<sup>5</sup> In 1916, McInnis endorsed the revival activities of Billy Sunday, whose theatrical preaching greatly increased membership in many churches, especially South Presbyterian, where 400 people joined as a result of the Billy Sunday Revival in Syracuse. McInnis was succeeded by the Rev. Dr. John T. Reeve, installed October 12, 1923. Growth continued through the prosperous 1920s, though at a slower pace when the building of new housing slowed in the area due to the saturation of residential blocks. Although the congregation was one of the youngest in the city in the 1930s, it was still one of the largest. Even with the onset of the Great

<sup>4</sup> "The \$60,000 edifice Under Construction for the South Presbyterian," *Syracuse Herald* (Nov. 11, 1905).

<sup>5</sup> On McInnis see Daniel W. Draney, *When Streams Diverge: John Murdoch MacInnis and the Origins of Protestant Fundamentalism in Los Angeles*, (Wipf and Stock Publishers, 2008). McInnis's papers can be found at Presbyterian Historical Society. A biography and finding aid are here: <http://www.history.pcusa.org/collections/research-tools/guides-archival-collections/rg-266>.

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Depression, in 1936 South Presbyterian maintained a membership of 1,351 with a Sunday school enrollment of 900.

At the time of construction, the church was in the Nineteenth Ward of Syracuse and local coverage of the building design and construction boasted that it would be the finest in the ward, “as well as one of the best of the kind in the city.”<sup>6</sup> The Nineteenth Ward developed into what became known as Southside, which included the former village of Danforth, which was annexed by the city of Syracuse in 1887.<sup>7</sup> Colvin Street and South Presbyterian Church were located at the south end of the former village. The area was already being subdivided for building lots by the 1860s. A notice in the *Syracuse Standard* (11 October 1869) stated that “Persons purchasing on the Salina street front, with the intention of building, will be required to erect good buildings, at least medium size, with two story front.” Most “good buildings” along this stretch were at first brick Italianate houses and later more elaborate wood frame Queen Anne style structures. Even so, a map of 1892 shows the area sparsely developed. One developed lot in 1892 was the Van Duesain lot, upon which a building is indicated on the 1892 map; this is the parcel where the chapel was erected in 1901.

When construction of the South Presbyterian Church began in 1906, the imposing Brighton School already occupied a site on South Salina Street just south of Colvin. The Brighton Public School was founded in 1842. The third school building was opened in 1891 four years after the Brighton School district was incorporated into the city. A new two-story brick school was built at the corner of South Salina and West Colvin Streets, immediately opposite the new church. The relationship of the buildings, both being the largest in the area, was clearly depicted in a 1908 plan.<sup>8</sup> A Fire Engine House stood just south of the school, facing South Salina Street.

As the area continued to develop, a Classical style branch bank for the First Trust & Deposit Co was built in the 1920s on the southeast corner of Colvin and South Salina streets, replacing a two-story gable front wood frame structure that housed Van Buskirk’s Drugstore. The old South Side Branch of the public library was originally founded in 1912 in Bunker’s Pharmacy at South Salina and Colvin Streets. In 1917 the library moved into a mid-nineteenth century Italianate residence, the Alvord House, which stood on South Salina Street directly across from South Presbyterian Church. The house/library was then replaced

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<sup>6</sup> Ibid.

<sup>7</sup> On Danforth. see [http://www.edrdpc.com/wp-content/uploads/2015/02/Village-of-Danforth\\_Historic-Resource-Survey-Report.pdf](http://www.edrdpc.com/wp-content/uploads/2015/02/Village-of-Danforth_Historic-Resource-Survey-Report.pdf).

<sup>8</sup> The school building was demolished ca. 1964.

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by the new Beaux-Arts designed Beauchamp Library opened on the NE corner in 1929. This addition completed what became an intersection marked by distinctive public institutional buildings.

For decades, the church building was one of most remarkable landmarks of the city in the Southside area. The building's unique architecture included an imposing exterior mass and profile and an extraordinary sanctuary. By 2006, circumstances changed the area and the church membership declined significantly. The church eventually closed in spite of selling the Tiffany windows in 2008. Even without these windows the sanctuary space remained visually striking, architecturally inspiring, and functionally effective.

### **Criterion C: Architecture**

Architecturally, South Presbyterian was one of several impressive religious buildings erected in Syracuse in the first fifteen years of the twentieth century. Other contemporary examples include First Presbyterian Church, 1904; First Universalist Church, 1905; Holy Trinity Church, 1905-13; Temple Society of Concord, 1910-11; AEM Zion Church, 1910; Sacred Heart Roman Catholic Church (now Basilica), 1910; English Lutheran Church, 1910-11; St. Anthony of Padua, 1911; First Baptist Church and Mizpah Tower, 1912). South Presbyterian Church became a prominent landmark in the city's south side and one of the most architecturally striking churches on the Southwest side, rivalled only by the nearby Saint Anthony of Padua Roman Catholic Church built in 1911.

The style of the church was a mix of a Picturesque English Romanesque massing and details, Flemish/stepped gables and the rough-cut masonry characteristic of the Romanesque style. Richardsonian Romanesque was popular in the previous decades, becoming a major influence on American architecture. The style was once highly visible in Syracuse, used for several late nineteenth century public buildings, such as the Federal Building and Post Office (1889, demolished 1949), the New York Central Downtown Syracuse Train Station (1895, demolished 1936), and the still extant Syracuse City Hall, designed by Charles Colton in 1891. The stepped gables in the Flemish style were popular throughout New York State along with other Dutch Revival elements. In Syracuse these were evident in the years just previous at 501 Catherine St. (1898); Engine House #10 on Euclid Avenue (1903); the former American Legion post,



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Loyal Order of Moose Lodge at 643 West Onondaga (1903); and elsewhere in Syracuse. There are no other local churches in this style.<sup>9</sup>

The use of rusticated masonry contributed to the rugged look of South Presbyterian Church. South Presbyterian also had a short tower set on the corner and tucked into the cruciform plan of sanctuary, a feature most often found in designs inspired by rural English parish churches, mostly built in a simple Gothic style. The Brown Memorial United Methodist church, built in Syracuse in 1876, had a corner tower, but it was twice the height of the sanctuary and loomed over the rest of the structure. The Methodist Episcopal Church on the north side also had a square tower similar to the one at South Presbyterian but taller in relation to the rest of the building.

The tower of South Presbyterian Church differed in several ways. Though towers were expected for most churches, it was unusual to have the primary entrance to the church confined to a corner tower and for the tower to be so integrated into the sanctuary design. The relative height of the South Presbyterian corner tower to the overall height of the sanctuary broke from the norm of either one or two taller towers. The South Presbyterian tower was intended from the start to terminate in a relatively flat roof with a parapet, rather than the more traditional and common tall pointed church spire.

The church was built in two phases. The first phase was the earlier construction of a late-nineteenth century wood frame, wood sided, two-story chapel building, somewhat rustic in appearance, facing West Colvin Street and set one lot in from South Salina Street. The second phase was the construction of the much more substantial brick and stone structure at the corner of South Salina and Colvin Street that incorporated the earlier chapel as part of the building and added a brick and stone exterior articulation to match the rest of the new church, except for rear of both buildings that were never faced in stone.

The new church was intended for social functions as well as worship. The basement of the structure was intended from the start to provide substantial usable social space for the congregation. Much of the space, especially that area closest to Colvin Street, was really a half basement, with half its height above street level and lit by a series of substantial ground level rectangular windows. During construction the original plans for the basement were fully described:

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<sup>9</sup> On the religious buildings of Syracuse see Gruber and Harvey, "Religious Properties of Syracuse: A Cultural Resource Survey" (unpublished Cultural Resources Survey carried out for the City of Syracuse, 2014).

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The basement of the new church will be cut up into a number of rooms, suitable for use at church socials and other similar gatherings. Among other things, there will be two sets of toilet rooms there on opposite sides of the basement with dressing rooms. The floors of these will be of tile. Along the West Colvin street side of the basement will be a kitchen, pantry and social room. The kitchen will lie fitted with both gas and coal ranges bricked up.

Back of these rooms will be an immense room which will be devoted to Sunday school purposes and other large gatherings. To the left of this is still another large room.<sup>10</sup>

Inspired by medieval English architecture, the rough-cut masonry style was used by the father and son team of S.O. & H.A. Lacey of Binghamton in their design for South Presbyterian Church. Lacey (1856-1927) and Halbert Alonzo Lacey (1879-1909) had just completed the design and construction of the Carnegie Public Library in Binghamton (with Isaac G. Perry as the consulting architect), begun in 1903.<sup>11</sup> Sanford O. Lacey apprenticed with Isaac Perry when the latter was completing the State Capitol Building in Albany in 1883. The apprenticeship allowed him first-hand experience with the work of H. H. Richardson, since Richardson's impressive Albany City Hall opened in 1883 and was across the street from the capitol. The influence of this building may have been a strong one on Lacey, since it, too, placed a square corner tower snug against the arms of a cross gable plan. Even more important, the rugged masonry of Richardson's work is echoed in the facing of the South Presbyterian Church.

The Laceys were Binghamton's first family of architecture. Sanford O. Lacey was the nephew of leading Binghamton architect Truman I. Lacey (1833-1914). Truman Lacey was head of the firm T.I. Lacey and Son, and was architect of the Security Mutual Building (1904), the Press Building (1903), the Kilmer Building (1903) the Davidge-Pratt House at 10 Riverside Dr. (1905), the current Lost Dog cafe building (originally a cigar factory, Binghamton's major export at the time) and numerous other buildings including Sayre Theatre (Sayre, PA), VanDerLyn Mansion (Oxford, NY), and the Monroe County Courthouse (Stroudsburg, PA). Two of his sons were architects. His youngest son, Arthur T. Lacey, designed Binghamton's Kalurah Temple Mosque (1917-18).<sup>12</sup>

In 1892 Sanford Lacey formed a partnership (until 1896) with E. H. Bartoo, who had been a fellow draughtsman for Perry in Albany.<sup>13</sup> The new firm, under the supervision of Perry, designed the Columbia

<sup>10</sup> "The \$60,000 Edifice Under Construction for the South Presbyterian," *The Syracuse Herald*, 11 Nov. 11, 1905.

<sup>11</sup> "Binghamton's Landmark library," on *Treasures of the Tier*, website at: <http://nyslandmarks.com/treasures/09apr.htm>.

<sup>12</sup> William D. Moore, *Masonic Temples: Freemasonry, Ritual Architecture, and Masculine Archetypes* (Univ. of Tennessee Press, 2006).

<sup>13</sup> <http://bundymuseum.org/site3/about/the-history/elfred-bartoo-bio/>

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Theatre in Binghamton (1892).<sup>14</sup> Other buildings in Binghamton by Sanford O. Lacey include the Bijou Theater (1893, demolished 1950), Harding House on Grand Boulevard (1897-98), and, with Halbert Alonzo, the Boston Store (1899).<sup>15</sup> After Halbert A. Lacey's early death in 1909, his father worked solo, designing the Star Theater (1913, demolished 1951), the Goodwill Theater in Johnson City (1920); and the 4<sup>th</sup> and 5<sup>th</sup> Ward School Buildings in Binghamton (1915).<sup>16</sup> Sanford O. Lacey later formed a partnership with Gerald G. Schenck (Lacey and Schenck), and then in 1920 the firm expanded to Lacey, Schenck and Cummings.<sup>17</sup>

In 1906, South Presbyterian Church trustees approved a contract with Tiffany Studios for the manufacture of the windows for the sanctuary. In the minutes of September 19 1906, it stated that "...[the] president of the Board be authorized to enter into and execute a contract with the Tiffany Studios for the glass and decorating of the new church at the price of \$6,500." The windows primarily geometric in design rather than representational religious scenes, nor were the windows mentioned in a 1910 publication *A Partial List of Tiffany Windows*, published by Tiffany Studios, which only included Tiffany windows in four Syracuse churches: St. Paul's Cathedral, Fourth Presbyterian Church, Unitarian Church and First Presbyterian Church.<sup>18</sup>

The church closed a century later (2006), leaving a dilemma on what to do with the empty building. A collector from California came forward with an offer to purchase the Tiffany windows and in 2008, the windows were sold and removed. The Syracuse Landmarks Preservation Board (SLPB) commissioned replacement windows designed by Tony Serviente that were a close approximation of the experience of the sanctuary as originally intended, recognizing the effect of the color and patterning of the windows and of the interior lighting in the entire sanctuary space. The designs were much less geometrically complex than the original Tiffany windows, with a palette that was somewhat paler without the accents of red and blue. The replacement windows sufficiently muted the exterior bright light fully illuminating the architectural splendor of the sanctuary.

<sup>14</sup> Soon renamed Stone Opera House, and later the Riviera. See <http://cinematreaasures.org/theaters/11547/photos/45283>

<sup>15</sup> "Lacey Architecture: A Family Legacy," brochure from 2003 exhibition at Binghamton Visitor Center (2003). Online at: <http://www.pastny.org/landmarks/support/architects/TrumanILacey.pdf>

<sup>16</sup> <http://cinematreaasures.org/theaters/14713> & <http://cinematreaasures.org/theaters/18727>; *The American Contractor*, Vol 36 (F. W. Dodge Corporation, 1915), 48.

<sup>17</sup> *Architecture* (1920), p 192. The firm dissolved within a year, however, for unspecified reasons.

<sup>18</sup> *A Partial list of Windows / designed and executed by Tiffany Studios* (New York: Tiffany Studios, n.d. (ca. 1910),35. Online at <http://libmma.contentdm.oclc.org/cdm/compoundobject/collection/p16028coll5/id/1471/rec/1>

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Currently, South Presbyterian Church is a local protected site. It was over the protest of the Landmarks Preservation Board that the city planning commission approved the removal of the windows. The LPB worked diligently with the stained glass artist to capture of the “spirit” of the originals. In spite of the loss of the windows, the building retains its local designation and is currently owned by the local land bank that is searching for new tenants or possibly owners to find new life the church. The prominence of the building in the neighborhood and its other intact architectural features and great spaces remain significant and distinctive and contribute to its historic and architectural integrity.

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**Previous documentation on file (NPS):**

- \_\_\_ preliminary determination of individual listing (36 CFR 67) has been requested
- \_\_\_ previously listed in the National Register
- \_\_\_ previously determined eligible by the National Register
- \_\_\_ designated a National Historic Landmark



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\_\_\_\_ recorded by Historic American Buildings Survey # \_\_\_\_\_  
\_\_\_\_ recorded by Historic American Engineering Record # \_\_\_\_\_  
\_\_\_\_ recorded by Historic American Landscape Survey # \_\_\_\_\_

**Primary location of additional data:**

\_\_\_\_ State Historic Preservation Office  
\_\_\_\_ Other State agency  
\_\_\_\_ Federal agency  
\_\_\_\_ Local government  
\_\_\_\_ University  
☒ Other

Name of repository: Syracuse Land Bank

**Historic Resources Survey Number (if assigned):** \_\_\_\_\_

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**1. Geographical Data**

**Acreage of Property** less than one acre

Use either the UTM system or latitude/longitude coordinates

**Latitude/Longitude Coordinates (decimal degrees)**

Datum if other than WGS84: \_\_\_\_\_

(enter coordinates to 6 decimal places)

1. Latitude:	Longitude:
2. Latitude:	Longitude:
3. Latitude:	Longitude:
4. Latitude:	Longitude:

**Or**

**UTM References**

Datum (indicated on USGS map):

☐ NAD 1927    or    ☐ NAD 1983

1. Zone:	Easting:	Northing:
2. Zone:	Easting:	Northing:

South Presbyterian Church

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3. Zone: Easting: Northing:

4. Zone: Easting : Northing:

**Verbal Boundary Description** (Describe the boundaries of the property.)

The boundary is indicated by a red line on the attached map.

**Boundary Justification** (Explain why the boundaries were selected.)

The boundary is the same as for the period of significance.



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Onondaga County, NY

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## 2. Form Prepared By

name/title: Dr. Samuel D Gruber & Bruce Harvey

organization: Gruber Heritage Global

street & number: 123 Clarke St

city or town: Syracuse state: NY zip code: 13210

e-mail: samuelgruber@gmail.com

telephone: 315-474-2350

date: 8 December 2016

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## Additional Documentation

Submit the following items with the completed form:

- **Maps:** A **USGS map** or equivalent (7.5 or 15 minute series) indicating the property's location.
- **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to this map.
- **Additional items:** (Check with the SHPO, TPO, or FPO for any additional items.)

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**Aerial view of South Presbyterian Church showing the original chapel in relation to the present church. Source: Google Earth.**

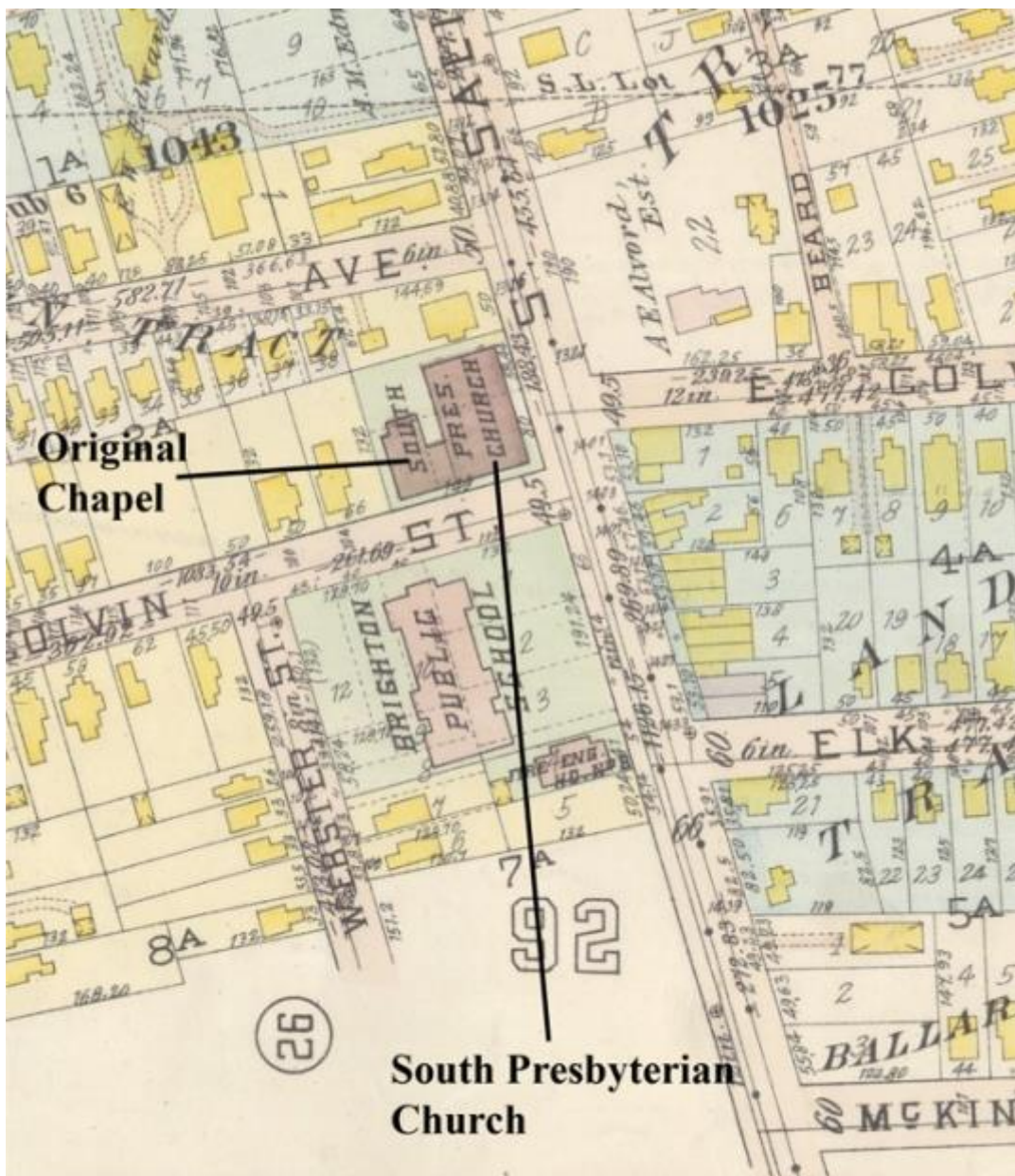
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Portion of 1908 Hopkins Map of Syracuse showing the completed South Presbyterian Church.



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**South Presbyterian Church. Cornerstone laying.**



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## Photo Log

Name of Property: South Presbyterian Church

City or Vicinity: Syracuse

County: Onondaga

State: NY

Photographer: Samuel D. Gruber

Date Photographed: 2012

Description of Photograph(s) and number, include description of view indicating direction of camera:

South Presbyterian Church. View from East Colvin Street (2012).



South Presbyterian Church

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Onondaga County, NY

Name of Property

County and State

### Photo Log

Name of Property: South Presbyterian Church

City or Vicinity: Syracuse

County: Onondaga

State: NY

Photographer: Samuel D. Gruber

Date Photographed: 2012

Description of Photograph(s) and number, include description of view indicating direction of camera:

South Presbyterian Church. East Colvin Street Façade and entrance. Original chapel building on left. South windows of the main sanctuary on right.



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### Photo Log

Name of Property: South Presbyterian Church

City or Vicinity: Syracuse

County: Onondaga

State: NY

Photographer: Samuel D. Gruber

Date Photographed: 2016

Description of Photograph(s) and number, include description of view indicating direction of camera:

South Presbyterian Church. Rear View, seen from northwest. Chapel is on the right. (2016)





South Presbyterian Church

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### Photo Log

Name of Property: South Presbyterian Church

City or Vicinity: Syracuse

County: Onondaga

State: NY

Photographer: Samuel D. Gruber

Date Photographed: 2016

Description of Photograph(s) and number, include description of view indicating direction of camera:

South Presbyterian Church. Detail of Bluestone facing



South Presbyterian Church

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Onondaga County, NY

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County and State

## Photo Log

Name of Property: South Presbyterian Church

City or Vicinity: Syracuse

County: Onondaga

State: NY

Photographer: Samuel D. Gruber

Date Photographed: 2016

Description of Photograph(s) and number, include description of view indicating direction of camera:

South Presbyterian Church. Cornerstone



South Presbyterian Church

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Name of Property

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## Photo Log

Name of Property: South Presbyterian Church

City or Vicinity: Syracuse

County: Onondaga

State: NY

Photographer: Samuel D. Gruber

Date Photographed: 2016

Description of Photograph(s) and number, include description of view indicating direction of camera:

South Presbyterian Church. Tower seen from southeast.





South Presbyterian Church

**DRAFT**

Onondaga County, NY

Name of Property

County and State

## Photo Log

Name of Property: South Presbyterian Church

City or Vicinity: Syracuse

County: Onondaga

State: NY

Photographer: Samuel D. Gruber

Date Photographed: 2016

Description of Photograph(s) and number, include description of view indicating direction of camera:

Inside the base of the tower is a bronze plaque commemorating those members of the congregation who served and died in World War I.



South Presbyterian Church

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Name of Property: South Presbyterian Church

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South Presbyterian Church

**DRAFT**

Onondaga County, NY

Name of Property

County and State

First chapel of south Presbyterian Church, dedicated July 1920



May 6, 2016

Mr. Benjamin Gray  
Director of Property Management  
Greater Syracuse Land Bank  
431 East Fayette Street, Suite 375  
Syracuse, New York 13202

**Re: Report of Findings for Limited Sampling and Analysis  
Suspected Asbestos Containing Materials  
Former South Presbyterian Church, 2110-12 South Salina Street  
Syracuse, New York**

Dear Mr. Gray:

In accordance with your request, HSE Consulting Services, LLC (HSE) completed limited sampling and analytical services for suspected asbestos containing materials (ACM) for the former South Presbyterian Church located at 2110-12 South Salina Street in the City of Syracuse, New York. The sampling and analysis was conducted in support of planned renovations and repairs to be completed for the structure, to ascertain whether or not certain building materials or components contained asbestos.

Mr. Chad C. Gable and Mr. Douglass B. Selover, New York State Department of Labor (NYSDOL) certified Asbestos Building Inspectors (NYSDOL Certification Numbers 12-10911 and 11-07636 respectively) performed the sampling on April 27, 2016.

#### **SAMPLING AND ANALYSIS OF SUSPECTED ASBESTOS CONTAINING MATERIALS**

Sampling was performed in general conformance with the requirements of Part 56 of Title 12 of the Official Compilation of Codes, Rules and Regulations of the State of New York (commonly cited as Code Rule 56). Sampling was limited to areas identified by Property Restoration, Inc.

The following materials were included in the scope of sampling:

- Wall and Ceiling Plaster
- 1'x1' Acoustical Ceiling Tile and Mastic (Lower Level and Upper Level Barrel-Vaulted Ceiling)



Mr. Benjamin Gray  
Re: Report of Findings for Limited Sampling and Analysis  
Suspected Asbestos Containing Materials  
Former South Presbyterian Church, 2110-12 South Salina Street  
Syracuse, New York  
May 6, 2016  
Page 2

A total of twenty-seven (27) bulk samples of suspect ACM were collected (HSE Sample ID's CG42716-1 to CG42716-27). A total of twenty-two (22) PLM, five (5) NOB and five (5) TEM analyses were completed.

Current New York State Department of Labor (NYSDOL) and United States Environmental Protection Agency (USEPA) regulations define materials which contain greater than one-percent ( $> 1\%$ ) asbestos to be regulated ACM. Based on the laboratory analysis results, no materials sampled were identified to be ACM. I have attached copies of the analysis reports and chain of custody records for your review.

HSE appreciates the opportunity to provide asbestos sampling and analytical services to you and The Greater Syracuse Land Bank. Please do not hesitate to contact me at your convenience if you have any questions or require additional information.

Sincerely,

**HSE CONSULTING SERVICES, LLC**

A handwritten signature in black ink, appearing to read 'Chad C. Gable'.

Chad C. Gable  
Project Manager

Attachments

\\Hseserver\hse\reports\ih\Greater Syracuse Land Bank\2110-12 S. Salina St\Sampling & Analysis Letter.docx

## ASBESTOS ANALYSIS REPORT

### Non-Gravimetrically Reduced Samples

Greater Syracuse Land Bank  
431 East Fayette Street  
Suite 375  
Syracuse NY 13202  
Attention: Katelyn Wright

Analysis Method - NY State ELAP 198.1

NYS DOH ELAP ID #11973

Friday, May 06, 2016  
Batch Number: 6214  
Date Received: 4/27/2016  
Date Collected: 4/27/2016  
Sampled By: Chad C Gable

Page 1 of 3

Project # NA Project Name: Former South Presbyterian Church

Lab ID	Sample ID	Color	Total % Asbestos	% AM	% CH	% CR	% TM	% AC	% AN	% CE	% MW	% GW	% SY	% HH	% O	Other Type	% Non-Fibrous Material	Date Analyzed
50611	CG42716-1	White	NAD							TR							100	5/3/2016
50612	CG42716-2	Grey	NAD							TR							100	5/3/2016
50613	CG42716-3	Grey	NAD							TR							100	5/3/2016
50614	CG42716-4	Grey	NAD							TR							100	5/3/2016
50615	CG42716-5	Grey	NAD							TR							100	5/3/2016
50616	CG42716-6	Grey	NAD							TR							100	5/3/2016
50617	CG42716-7	Grey	NAD							TR							100	5/3/2016
50618	CG42716-8	Grey	NAD							TR							100	5/3/2016
50619	CG42716-9	Grey	NAD							TR							100	5/3/2016
50620	CG42716-10	Grey	NAD							TR							100	5/3/2016
50621	CG42716-11	Grey	NAD							TR							100	5/3/2016

#### Abbreviations:

AM - Amosite  
CH - Chrysotile  
CR - Crocidolite

CE - Cellulose  
MW - Mineral Wool  
GW - Glass Wool

SY - Synthetic  
HH - Horse Hair  
O - Other

TR - Trace (<1%)  
NAD - No Asbestos Detected  
SAFP - Stop at First Positive (not analyzed)

N/A - Not Applicable  
NA - Not Available  
\*Insufficient Sample for Analysis

The results pertain only to the samples in this report.

8636 Brewerton Road  
Cicero, New York 13039

Ph # (315) 698-1438  
Fax # (315) 698-1441  
www.hseconsultingservices.com

## ASBESTOS ANALYSIS REPORT

Greater Syracuse Land Bank  
431 East Fayette Street  
Suite 375  
Syracuse NY 13202  
Attention: Katelyn Wright

### Non-Gravimetrically Reduced Samples

Analysis Method - NY State ELAP 198.1  
NYS DOH ELAP ID #11973

Friday, May 06, 2016  
Batch Number: 6214  
Date Received: 4/27/2016  
Date Collected: 4/27/2016  
Sampled By: Chad C Gable

Page 2 of 3

Project Name: Former South Presbyterian Church

Lab ID	Sample ID	Color	Project #	NA	Total % Asbestos	% CH	% CR	% TM	% AC	% AN	% CE	% MW	% GW	% SY	% HH	% O	Other Type	% Non-Fibrous Material	Date Analyzed
50622	CG42716-12	Grey	<1.0	NAD	<1.0	<1.0					TR				TR			100	5/3/2016
50623	CG42716-13	Grey	NAD								TR				TR			100	5/3/2016
50624	CG42716-14	Grey	NAD								TR				TR			100	5/3/2016
50625	CG42716-15	White	NAD								TR							100	5/3/2016
50626	CG42716-16	Grey	NAD								TR				TR			100	5/3/2016
50627	CG42716-17	Grey	NAD								TR				TR			100	5/3/2016
50628	CG42716-18	Grey	NAD								TR							100	5/3/2016
50629	CG42716-19	Grey	NAD								TR				TR			100	5/3/2016
50630	CG42716-20	Grey	NAD								TR				TR			100	5/3/2016
50631	CG42716-26	Grey	NAD								TR				5			95	5/3/2016
50632	CG42716-27	Grey	NAD								TR				5			95	5/3/2016

#### Abbreviations:

AM - Amosite  
CH - Chrysotile  
CR - Crocidolite

CE - Cellulose  
MW - Mineral Wool  
GW - Glass Wool

SY - Synthetic  
HH - Horse Hair  
O - Other

TR - Trace (<1%)  
NAD - No Asbestos Detected  
SAFP - Stop at First Positive (not analyzed)

N/A - Not Applicable  
NA - Not Available  
\*Insufficient Sample for Analysis

The results pertain only to the samples in this report.

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## ASBESTOS ANALYSIS REPORT

Greater Syracuse Land Bank  
431 East Fayette Street  
Suite 375  
Syracuse NY 13202  
Attention: Katelyn Wright

### Non-Gravimetrically Reduced Samples

Analysis Method - NY State ELAP 198.1  
NYS DOH ELAP ID #11973

Friday, May 06, 2016  
Batch Number: 6214  
Date Received: 4/27/2016  
Date Collected: 4/27/2016  
Sampled By: Chad C Gable

Page 3 of 3

Project Name: Former South Presbyterian Church

Project # NA

Lab ID	Sample ID	Color	Total % Asbestos	% AM	% CH	% CR	% TM	% AC	% AN	% CE	% MW	% GW	% SY	% HH	% O	Other Type	% Non-Fibrous Material	Date Analyzed
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Reviewed and Approved By (and for questions regarding this report):

  
Douglas L. Gee, Technical Director

### Abbreviations:

AM - Amosite	TM - Tremolite	CE - Cellulose	SY - Synthetic	TR - Trace (<1%)	N/A - Not Applicable
CH - Chrysotile	AC - Actinolite	MW - Mineral Wool	HH - Horse Hair	NAD - No Asbestos Detected	NA - Not Available
CR - Crocidolite	AN - Anthophyllite	GW - Glass Wool	O - Other	SAFP - Stop at First Positive (not analyzed)	*Insufficient Sample for Analysis

The results pertain only to the samples in this report.

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Cicero, New York 13039

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# **ASBESTOS ANALYSIS REPORT** **Gravimetrically Reduced Samples** **Non-Friable Organically Bound Material**

Greater Syracuse Land Bank  
431 East Fayette Street  
Suite 375  
Syracuse NY 13202  
Attention: Katelyn Wright

PLM Analysis Method - NY State ELAP 198.6

NYS DOH ELAP ID #11973

TEM Analysis Method - NY State ELAP 198.4

TEM Analysis Performed by NYSDOH ELAP ID #10984

Friday, May 06, 2016

Batch Number:

6215

Date Received:

4/27/2016

Date Collected:

4/27/2016

Sampled By:

Chad C Gable

Page 1 of 1

Project Name: Former South Presbyterian Church

Project # NA

Lab ID	Sample ID	Color	Residue %	TEM ANALYSIS						Total % Asbestos	Date Analyzed
				PLM ANALYSIS	%	Type	%	Type	%		
50633	CG42716-21	Brown	44.7	NAD						NAD	4/28/2016
50634	CG42716-22	Brown	44.7	NAD						NAD	4/28/2016
50635	CG42716-23	Brown	47.5	NAD						<1.0 CH	4/28/2016

Reviewed and Approved By (and for questions regarding this report):

  
Douglas L. Gee, Technical Director

## **Abbreviations:**

AM - Amosite N/A - Not Applicable  
CH - Chrysotile NA - Not Available  
CR - Crocidolite NAD - No Asbestos Detected  
TM - Tremolite SAFF - Stop at First Positive  
AC - Actinolite (not analyzed)  
AN - Anthophyllite NR - Not Required  
<1.0% Residue Remaining

TR-Inconclusive - Trace asbestos detected at 1% or less (Samples with inconclusive results must not be interpreted as being non-ACM)  
\*Insufficient sample for analysis (Samples not analyzed must not be interpreted as being non-ACM)  
\*\* - Inconclusive, No Asbestos Detected (Samples with inconclusive results must not be interpreted as being non-ACM)  
\*\*\*TEM analysis not performed per client's request. (Polarized-light microscopy is not consistently reliable in detecting asbestos in floor coverings and similar non-friable organically bound materials. Quantitative transmission electron microscopy is currently the only method that can be used to determine if this material can be considered or treated as non-ACM.

NOTE: The results pertain only to the samples in this report.

8636 Brewerton Road  
Cicero, New York 13039

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Fax # (315) 698-1441  
www.hseconsultingservices.com

## ASBESTOS ANALYSIS REPORT Gravimetrically Reduced Samples Friable Material

Greater Syracuse Land Bank  
431 East Fayette Street  
Suite 375  
Syracuse NY 13202  
Attention: Katelyn Wright

PLM Analysis Method - NY State ELAP 198.6  
NYS DOH ELAP ID #11973  
TEM Analysis Method - NY State ELAP 198.4  
TEM Analysis Performed by NYSDOH ELAP ID #10984

Friday, May 06, 2016  
Batch Number: 6216  
Date Received: 4/27/2016  
Date Collected: 4/27/2016  
Sampled By: Chad C Gable

Project # NA

Project Name: Former South Presbyterian Church

Page 1 of 1

Lab ID	Sample ID	Color	% Residue	PLM ANALYSIS				TEM ANALYSIS				Total % Asbestos	Date Analyzed
				%	Type	%	Type	%	Type	%	Type		
50636	CG42716-24	White/Gray	19.3	NAD				NAD				NAD	4/28/2016
50637	CG42716-25	Yellow/Tan	29.1	NAD				NAD				NAD	4/28/2016

Reviewed and Approved By (and for questions regarding this report):

  
Douglas L. Gee, Technical Director

### Abbreviations:

AM - Amosite  
CH - Chrysotile  
CR - Crocidolite  
TM - Tremolite  
AC - Actinolite  
AN - Anthophyllite  
N/A - Not Applicable  
NA - Not Available  
NAD - No Asbestos Detected  
SAFP - Stop at First Positive (not analyzed)  
NR - Not Required  
<1.0% Residue Remaining

TR-Inconclusive - Trace asbestos detected at 1% or less (Samples with inconclusive results must not be interpreted as being non-ACM)  
\*Insufficient sample for analysis (Samples not analyzed must not be interpreted as being non-ACM)

\*\* - Inconclusive, No Asbestos Detected (Samples with inconclusive results must not be interpreted as being non-ACM)

\*\*\*TEM analysis not performed per client's request. (Polarized-light microscopy is not consistently reliable in detecting asbestos in floor coverings and similar non-friable organically bound materials. Quantitative transmission electron microscopy is currently the only method that can be used to determine if this material can be considered or treated as non-ACM.

NOTE: The results pertain only to the samples in this report.

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8636 Brewerton Road, Cicero, NY 13039  
Phone: 315-698-1438 / Fax: 315-698-1441

## Bulk/Surface Sample Log

For Lab Use Only

Batch # 6214 50611-50632  
6215 50633-50635  
6216 50636-50637

Page 1 of 2

Date: 4/27/2016

Project Name: Former South Presbyterian Church  
Project Address: 2110-12 S. Salina Street  
Syracuse, NY  
Client Name: Geater Syracuse Land Bank  
Address: 431 E. Fayette St., Suite 375  
Syracuse, NY 13202  
Contact: Mr. Benjamin Gray  
Phone/Fax:  
E-mail:

Sample No.	Sample Location	Sample Description	Sample Type	For Lab Use Only		
				Layers	Analysis Method	Lab ID
CG-47716-1	NE Alter Area	Surface Plaster			198.1	50611
2	Y	Base "				50612
3	NW Balcony	Surface "				50613
4	"	Base "				50614
5	SE Stairway	Surface "				50615
6	"	Base "				50616
7	NE Bell tower	Surface "				50617
8	" tower	Base "				50618
9	SE Vestibule	Surface "				50619
10	"	Base "				50620
11	E Seating Area	Surface				50621
12	" "	Base				50622
13	NW Office main floor	Surface "				50623
14	" MAIN "	Base "				50624
15	NE Stairway by Alter	Surface "				50625

Sample Types:

ASBESTOS: F=Friable NF=Non-Friable NOB=Non-Friable Organically Bound

MOLD: T=Tape Lift S=Swab

Chain of Custody	Print Name	Signature	Date	Time
Sampled by:	Chad C. Cable	Chad C. Cable	4/27/16	0900
Relinquished by:	Chad C. Cable	Chad C. Cable	4/27/16	1125
Received at Lab by:	Dan L. L. L.		4-27-16	12:30
Turnaround Time:	RUSH (Specify): <input type="checkbox"/> 12 Hour <input type="checkbox"/> 24 Hour <input type="checkbox"/> 48 Hour <input type="checkbox"/> 72 Hour <input type="checkbox"/> Standard (5 Day)			

Received 4/27/16 11:00 AM



8636 Brewerton Road, Cicero, NY 13039  
Phone: 315-698-1438 / Fax: 315-698-1441

## Bulk/Surface Sample Log

For Lab Use Only

Batch # 6214 50611-50632  
6215 50633-50635  
6216 50636-50637

Date: 4/27/2016

Page 2 of 2

Project Name: Former South Presbyterian Church  
Project Address: 2110-12 S. Salina Street  
Syracuse, NY  
Client Name: Geater Syracuse Land Bank  
Address: 431 E. Fayette St., Suite 375  
Syracuse, NY 13202  
Contact: Mr. Benjamin Gray  
Phone/Fax:  
E-mail:

For Lab Use Only						
Sample No.	Sample Location	Sample Description	Sample Type	Layers	Analysis Method	Lab ID
CG-42716-16	NE stairway by altar	Base Plaster			198.1	50626
17	SE lower level	Plaster				50627
18	" "	"				50628
19	" "	"				50629
20	" "	"				50630
21	SE lower level	Ceiling-tile glue pack			198.6	50633
22	Center "	ceiling tile glue pack				50634
23	Side chapel	" "				50635
24	" "	Ceiling tile 1x1			198.6 (r)	50636
25	E lower level	" "				50637
26	New office off side chapel	Plaster wall			198.1	50631
27	" "	" ceiling				50632
28						
29						
30						

Sample Types:

ASBESTOS: F=Friable NF=Non-Friable NOB=Non-Friable Organically Bound

MOLD: T=Tape Lift S=Swab

Chain of Custody	Print Name	Signature	Date	Time
Sampled by:	Chad C. Gable	Chad C. Gable	4/27/16	0900
Reinquished by:	Chad C. Gable	Chad C. Gable	4/27/16	1125
Received at Lab by:	Doreen G.	Doreen G.	4-27-16	12:30
Turnaround Time:	<input type="checkbox"/> RUSH (Specify): <input type="checkbox"/> 12 Hour <input type="checkbox"/> 24 Hour <input type="checkbox"/> 48 Hour <input type="checkbox"/> 72 Hour <input type="checkbox"/> Standard (5 Day)			

Pos. 16 also 5/1/16